



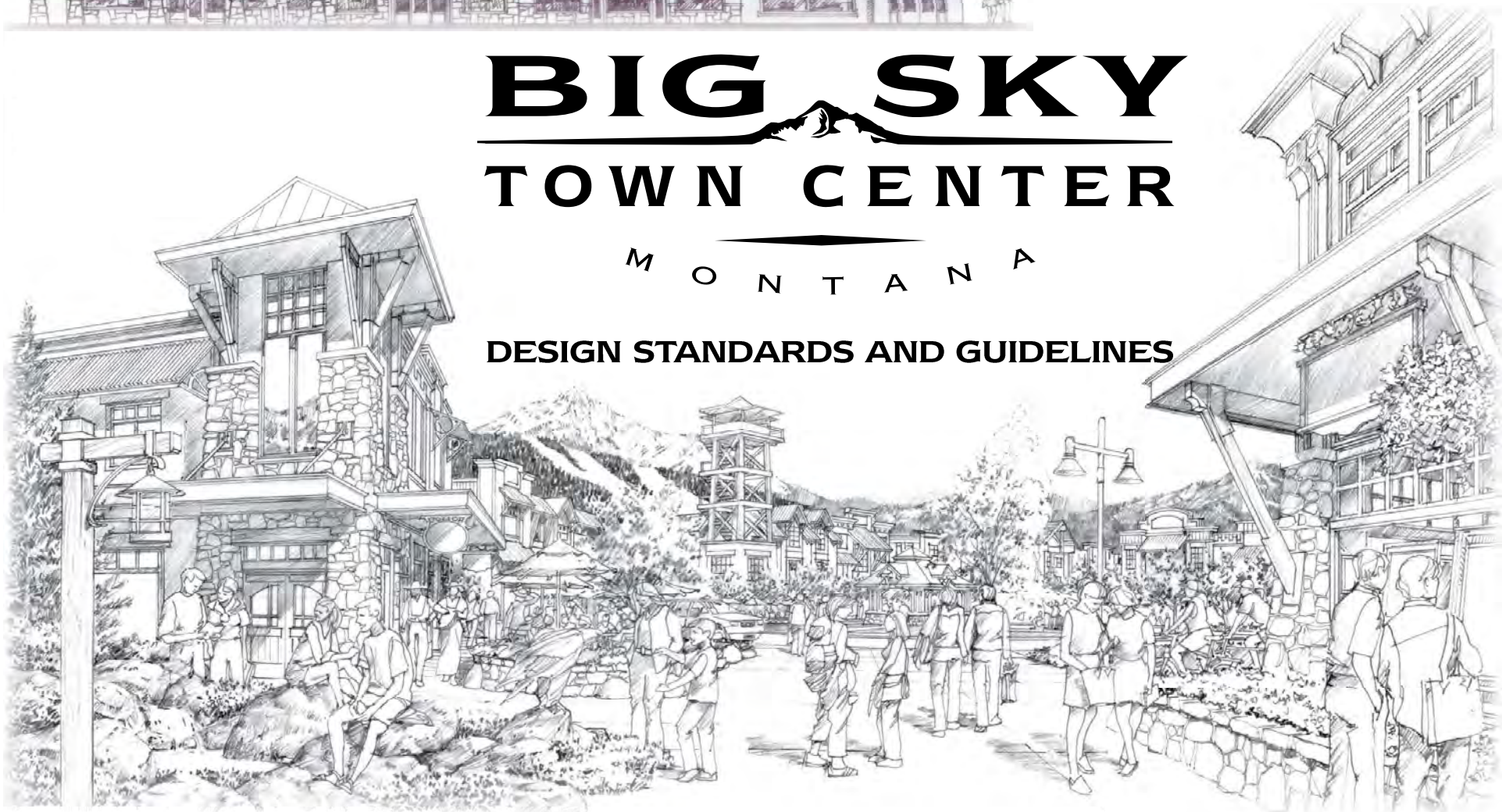
# **BIG SKY**

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## **TOWN CENTER**

M O N T A N A

**DESIGN STANDARDS AND GUIDELINES**





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The information contained herein is subject to change without notice. It is the responsibility of the applicant, owner, or project developer to acquire the current version of this document from the Town Center owners Association before proceeding with a development proposal.

## I. INTRODUCTION TO BIG SKY TOWN CENTER

The Town Center Owners Association welcomes you, a new project developer, to the Big Sky Town Center. As a project developer within the Big Sky Town Center, you have become a stakeholder in a unique and new project within the Big Sky community.

### ***A. Project Vision and Objectives***

The design intent of the Town Center encourages the scale, massing and physical relationships of a turn of the century small town, with central public spaces and a main street. This will be balanced with current design principles that reflect the dynamics of changing times and current, sustainable building techniques employed in the industry.

New interpretations of traditional building types are encouraged, such that they are seen as products of their own time yet comparable to historic communities heralded for their charm and attention to the pedestrian environment.

Encouraging pedestrian activity is a major objective for the entire Town Center development and any new development should strengthen the appeal for walking and bicycling. Projects should be developed to facilitate pedestrian orientation and enhance the quality of the experience. Buildings and site elements should express human scale, through materials and forms, which also depict the character and image of a western, mountain community. The architectural expression is designed to draw upon the regional and local heritage and to be rooted in historical precedents, while looking forward in its detailing. With building materials such as heavy cut timbers, dry-stack real stone, cedar lap and other wood siding, and a unique mix of flat and pitched roofs, the Town Center will be a unique pedestrian-friendly village in Big

Sky – a feel that is refined Western with a hint of the Old West. These standards and guidelines seek to promote an architectural expression that is well suited to the local climate and environment and is visually compatible with its surroundings.

Figure 1, in this Section illustrates the site plan.

### ***B. Developer and the Town Center: Fostering a Positive Relationship***

As a project developer or owner of Town Center property, you have the opportunity to contribute to the overall quality of life in Big Sky and the planned growth of this small dynamic community. With this opportunity comes the obligation to meet a number of requirements and regulations.

The Master Developer (Simkins Holdings, LLC), Town Center Owners Association (TCOA), and the Town Center Architectural Committee (TCAC) are available for consultation regarding the standards and guidelines or other related development issues.

### ***C. The Purpose of this Document***

This document sets forth design standards and guidelines for development within the Town Center. The standards and guidelines have been created to establish the vernacular and design criteria for the built environment and are based on a commitment to establish a strong “sense of place,” which is currently missing from the community. These standards and guidelines require and encourage an approach to design that will help enhance the character of the community, making it appealing to residents and visitors alike.

These standards and guidelines also provide information to potential project developers for use in making decisions about their buildings. This document addresses basic principles of urban design which promote an environment that is attentive to the needs of the pedestrian, maintains cohesive neighborhood identity, and respects the unique natural setting of Big Sky.

## **D. Organization of the Standards and Guidelines**

*Section I* introduces the Town Center and provides general background on the document.

*Section II* defines the Town Center Owners Association and the Town Center Architectural Committee and their responsibilities regarding development in the Town Center. This section also details the permitting and approval process, including an explanation of the Town Center's two-phased Design and Land Use Permit application process.

*Section III* is a flowchart of the review process for all development projects in the Town Center.

*Section IV*, organized in a table-like format, describes and illustrates Design Standards and Guidelines that are applicable to all development proposals for all land uses throughout the Town Center. The three major types of development on a lot are Site, Landscape and Building Design. *Standards* are defined as mandatory requirements for development. *Guidelines* are defined as recommendations for development and are thus discretionary and advisory.

*Sections V through Sections VIII* are organized like Section IV, however they describe and illustrate standards and guidelines for specific types of land uses (i.e. Commercial Core, Neighborhood Commercial, Single-Family Residential and Multi-Family Residential). These standards and guidelines are to be followed in addition to those in Section IV. Standards are defined as mandatory requirements for development. Guidelines are defined as recommendations for development and are thus discretionary and advisory.

*Sections IX through XIII* are provided as references for contacts, documents and applications. This information may change from time to time. The TCAC should be contacted for the most up-to-date information.



## II. PERMITTING & APPROVAL PROCEDURES

The following permitting and approval procedures shall govern all permits and approvals required to be obtained in the Big Sky Town Center. This process is also shown in the flowchart in Section III. All defined terms herein (designated by capital letters) have the same meanings as defined and/or used in the Big Sky Town Center Declaration of Covenants, Conditions, and Restrictions (Declaration).

Before initiating the review process with TCAC, all project developers should take these preliminary steps to help them organize their project.

### ***Professional designers and builder (contractor).***

These standards are not intended to replace those valuable and required services offered by professional designers in the engineering, architectural and landscape architectural fields. Project developers are strongly encouraged to engage the assistance of licensed professionals to assist them in developing their projects. Doing so may facilitate a smoother review process and may save the owner time and money.

The TCOA has good working relationships with many local design professionals and contractors who are capable of designing and building a successful project, and the TCOA should be contacted for these recommendations. The use of local professionals is strongly encouraged to take advantage of their relationships with County and State officials, and their knowledge of the site and building constraints in the extreme alpine meadow environment of the Town Center. To increase the chances of a successful project, the TCOA reserves the right to review and approve of a project developer's architect, landscape architect, engineer, and building contractor.

### ***Become familiar with other applicable Federal, State and County regulations and requirements.***

These Design Standards and Guidelines supplement other relevant regulations and requirements. All project developers should become familiar with other applicable regulations as they relate to development in the Town Center. The county zoning regulations address development issues such as permitted and conditional uses, general development standards, building setbacks, building height, etc.

### ***Become familiar with these Design Standards and Guidelines.***

This document will assist you in creating a project that is of high quality in design and function provided that the standards and guidelines herein are followed closely. The TCAC is available to answer questions concerning these standards and guidelines.

### ***Schedule a Pre-Application Meeting.***

The TCAC shall be contacted to arrange a Pre-Application Meeting to discuss conceptual development proposals. This meeting is mandatory, prior to submitting the first of two Phases of the formal Design and Land Use Permit (DLUP) application (Phase A).

### ***Prepare and submit a complete package of review materials.***

By preparing and submitting a complete and thorough application, the TCAC can better review the development proposal for content and thus render a timely decision. By following the requirements stated below for each application type, the development proposal can be more quickly evaluated by the TCAC.

## A. ADMINISTRATIVE ORGANIZATION:

### *The Town Center Owners Association, Inc. (TCOA)*

**The Town Center Owners Association, Inc. (TCOA)** is a non-profit corporation that was formed to implement, administer, and enforce these Design Standards and Guidelines, the Declaration, and other pertinent documents. The members of this group are the residential and commercial property owners and project developers within the Town Center. A Board of Directors represents this group and manages business and administrative affairs of the corporation. The TCOA has created the Town Center Architectural Committee (TCAC) which reviews all development applications for adherence to the Applicable Regulations, and then makes approval/denial recommendations to the TCOA. Final approval/denial for all applications is made by the TCOA Board of Directors and communicated in writing to the applicant. If the application is denied, the TCOA will outline the reasons for denial. The applicant may then re-apply.

### *Town Center Architectural Committee (TCAC)*

**The Town Center Architectural Committee (TCAC)** was created by the TCOA for the purposes of creating, administering, and enforcing the Big Sky Town Center Design Standards and Guidelines (Design Standards and Guidelines) for the proposed development projects within the Town Center. This level of review will ensure that new construction projects exhibit design excellence and adherence to the Design Standards and Guidelines.

The TCAC review process is conducted in addition to Federal, State, and County site or development review. Any application for new building or site development as well as modifications to any building or site, shall be reviewed by the TCAC to determine compliance with the Design Standards and Guidelines, in addition to review for compliance with applicable Federal, State and County requirements.

## B. GENERAL PROCEDURES:

### *1.0 Application Procedures*

In the interest of fostering a collaborative relationship and avoiding unnecessary adversarial conflicts, applicants for permits or approvals are encouraged to schedule an informal consultation with the TCAC early in the schematic building and site design process. This will help ensure that the formal application(s) comply with the letter and the intent of the Gallatin Canyon/Big Sky Zoning Regulations (Zoning Regulation) and the Design Standards and Guidelines.

While a project is in the schematic design phase and prior to the filing of an application for a permit or approval, the applicant shall schedule a mandatory pre-application meeting with the TCAC to review the application requirements and to answer any questions regarding the application and approval process. The first of two of the formal Big Sky Town Center Design and Land Use Permit application(s) shall be filed with the TCAC no later than forty-five (45) days after the mandatory pre-application meeting. Applications not filed within this forty-five (45) day period shall be deemed rejected, requiring scheduling of a new mandatory pre-

application meeting and filing of a new application. Any timely filed application which is complete and accompanied by all requisite fees shall be deemed approved if not acted upon by the TCAC within sixty (60) days after filing, unless such time period is extended by mutual written agreement of the applicant and the TCOA.

## **2.0 Application Forms**

All applications for permits, Variances or approvals required under the Declaration shall be made on the same current forms required to be used for the same or similar permit or approval under the Zoning Regulation, supplemented by any additional information, requirement or criteria required under the Declaration, using the current form(s) required by the TCOA, Design Standards and Guidelines, or this Permitting and Approval Procedure. Any application for a permit or approval not required under the Zoning Regulation, but required under the Declaration or the Design Standards and Guidelines, shall be made upon the current form required by the TCAC.

## **C. SPECIFIC PROCEDURES:**

### **1.0 Big Sky Town Center Design and Land Use Permits**

#### **1.1 Requirement of:**

No Use or Development of all or any portion of the Property and no Structure shall be built, moved or structurally altered until a Big Sky Town Center Phase B Design and Land Use Permit (DLUP) has been issued in accordance with the Zoning

Regulation and this section. On new projects, a Phase A DLUP shall be submitted at the schematic or preliminary phase of the project, and the Phase B DLUP shall be submitted when the construction drawings are about 90% complete.

#### **1.2 Procedure:**

- a. DLUPs shall be issued only for Uses, Developments or Structures which are in conformance with the Zoning Regulation, the Declaration, any applicable Planned Unit Development (PUD) and Subdivision Plat, the current Design Standards and Guidelines, any applicable governmental rules or regulations and the terms and conditions of any Conditional Use Permit, if required (herein, collectively “Applicable Regulations”).
- b. All applications for the DLUP shall be accompanied by those Plans and Specifications required under the Zoning Regulation, the Declaration, or by the TCAC.
- c. All applications for the DLUP shall be filed with the TCAC and be accompanied by all applicable fees required by the TCAC for consideration of the permit. An application is complete when it contains all of the information necessary for the TCOA Board of Directors to decide whether the Use, Development or Structure, if completed as proposed, will conform to, and comply with, all of the requirements of the Applicable Regulations.
- d. DLUPs issued on the basis of Plans and Specifications approved

by the TCOA Board of Directors only authorize the use, arrangement and construction set forth in the approved plans and specifications. Any use, arrangement or construction not in conformance with the approved plans and specifications shall constitute a violation of the Declaration.

- e. DLUPs shall be in writing and be in the form specified by the TCOA.
- f. If an application for a DLUP is denied, the TCOA will outline the reasons for denial. The applicant may then re-apply.
- g. Where new sanitary facilities or the extension of an existing sanitary facility is contemplated, the DLUP may be issued prior to the applicant obtaining state or local governmental approval. Please remember that the Big Sky Water & Sewer District will not issue a connection permit until State DEQ approval has been issued.

### **1.3 Criteria and Required Information:**

- a. At a minimum, all applications for a DLUP shall contain that information necessary to show that, if constructed as proposed, the proposed Use, Development or Structure will conform to, and comply with, all of the requirements of the Applicable Regulations.
- b. For Hillside or Ridgeline Lands, and all lots located adjacent to the South Fork River or the Town Center Bluff, the additional information required for land use permits

contained in Section 33.7 of the Zoning Regulation, and any amendment thereto, is required and shall be supplied in the DLUP application. In addition thereto, the Applicant shall submit a written, site-specific soil and geotechnical analysis for the buildings proposed to be constructed on the recorded Subdivision Plat for the Lot or Tract of concern. In addition, a written, site-specific survey of the slope, topography and boundary of the lot is required showing, in each case, site-specific suitability of the Lot for construction of the proposed Use, Development or Structure, any limitations or restrictions on construction within the Lot and any specific design, engineering or other mitigating measures, including, without limitation, any changes to the layout or grading of the Lot that is reasonably necessary to allow construction of the proposed Use, Development or Structure in substantial conformance with the Applicable Regulations, reducing or eliminating hazards and/or protecting public health, safety and welfare, including that of the Owner. The soils and geotechnical analysis shall be performed by a professional geotechnical engineer and the survey by a professional surveyor, each of whom shall be licensed and registered under the laws of the State of Montana.

- c. For all property in the Town Center, the Applicant shall submit a detailed survey of the slope, grade, topography, drainage and boundary of the Lot showing site specific suitability of the Lot for construction of the proposed Use, Development or Structure, to include, without limitation, a map showing that the proposed grades are in conformity with those established by the Developer, or its successors,

and also in conformity with adjacent Uses, Developments or Structures (including without limitation, grades of proposed or established roads, sidewalks, and parking areas) and that the proposed Use, Development or Structure is in conformity with all requirements of the Applicable Regulations (including without limitation, all those pertaining to required setbacks and handicap access). A written narrative shall accompany the survey that identifies any limitations or restrictions on suitability of the site for the proposed Use, Development or Structure, any nonconformity of proposed grades with that established by the Developer or any nonconformity of the proposed Use, Development or Structure with the requirements of the Applicable Regulations. The narrative shall further describe any specific design, engineering or other mitigating measures reasonably necessary for construction of the proposed Use, Development or Structure in deviance from, but in substantial conformity with, the grades established by the Developer or with the Applicable Regulations. A Variance shall be required for any proposed deviation.

- d. Performance Deposit, Remedies and Foreclosure. For all new construction and remodeling in the Town Center, the TCOA may require the Owner to post a Performance Deposit with the TCOA, together with any necessary fees, in accordance with and as more particularly set forth in the Big Sky Town Center Design Standards and Guidelines, in force and in effect at the time of construction or remodeling. This Performance Deposit shall be released to the Owner upon completion and acceptance of the project by TCOA. In the

event the project has not been completed, or completed as approved, the TCOA shall have all remedies set forth in this document and the Declaration, and to the extent TCOA performs work or expends funds on the project to achieve or complete the approved plan, such work or expenditure of funds to improve or complete the project shall constitute a lien on the property. Such lien may be foreclosed upon in like manner as a mortgage or other lien upon real property and may include additional cost of expenses and reasonable attorney's fee. Such liens shall continue until fully paid or otherwise satisfied. When such lien has been fully paid or satisfied, the TCOA shall file a subsequent notice releasing the lien.

The applicant shall also submit a Performance Deposit signed by the Property Owner and the TCOA. A Performance Deposit could be issued in one of the following forms:

- Cash deposited into a TCOA account
- Certificate of Deposit (CD) or Letter of Credit (LOC) to be held in the name of the TCOA for the benefit of (FBO) the Property Owner/Developer

If at the expiration of the applicable permits, the project has not been executed as approved, the TCOA may remove incomplete work, provide the necessary work to achieve the approved plan, or take other action as approved by the TCOA Board of Directors. The Performance Deposit shall be used to fund this work and/or administrative or legal expenses. Additional cost not covered by the Performance Deposit shall be billed to the Property Owner and shall constitute a lien on the property as described above.

Once a project is completed (including landscaping) in accordance with the approved plans, specifications, and permits, and to the satisfaction to the TCOA, the Performance Deposit will be returned to the Owner. Any interest that accrues as a result of a CD will accrue to the benefit of the Owner. Cash deposited will be returned at face value.

#### **1.4 Expiration of Permits:**

- a. The provisions of Section 42.3 of the Zoning Regulation, as that Regulation may be amended, concerning expiration of permits, are by this reference incorporated herein and made applicable to all Gallatin County Land Use Permits required to be obtained under this Section.
- b. A DLUP shall expire if the building or work authorized by the permit has not commenced within 12 months from the date of issuance of the permit or if the building or work authorized by the permit is suspended or abandoned at any time after the work is commenced for a period of 6 months.
- c. After a DLUP has expired, no work can be recommenced until a new permit is obtained. The fee for a new permit shall be one-half of the amount required for the original permit, provided that no changes have been made or will be made in the original Plans and Specifications for the work and that abandonment has not exceeded 12 months.

- d. All exterior construction shall be completed within 18 months from the date building construction commences, or 24 months after the date of the closing of the purchase of the lot, whichever is sooner. This includes construction of the exterior of all structures, all required parking, and placement of required landscaping and screening.

#### **2.0 Big Sky Town Center Occupancy Permit**

A Big Sky Town Center Occupancy Permit (Occupancy Permit) must be issued within 24 months after approval of the Phase B DLUP, or 24 months after the date of the closing of the purchase of the lot, whichever is sooner (or as otherwise approved by the TCOA). After initial occupancy by a commercial tenant, an Occupancy Permit must also be issued for any and all commercial and office tenant changes within the commercial district. The TCOA will approve or deny the Occupancy Permit application based upon a number of factors, including, but not limited to: the tenant, type of business, location, and/or proximity to similar tenants and/or businesses.

##### **2.1 Permit:**

An Occupancy Permit is required before occupancy or Use of any Structure. The Occupancy Permit shall be issued by the TCOA following an inspection to confirm that all exterior site and building construction has taken place in accordance with the approved DLUP, including any conditions imposed upon the Use, Development or Structure, and to authorize commencement

of the proposed Use as a Permitted Use or Conditional Use. This inspection shall be made prior to any occupancy of new construction, but no later than 24 months of date of issuance of the DLUP for such new construction, or 24 months after the date of the closing of the purchase of the lot, whichever is sooner (or as otherwise approved by the TCOA). Any part of the Development not in compliance with the approved DLUP or any Use not in conformance with the requirements for a Permitted Use or a Conditional Use, as applicable, shall constitute a violation of the Declaration, and an Occupancy Permit shall not be issued until such violation is corrected or cured.

## **2.2 Town Center Commercial District:**

In the Town Center Commercial District, an Occupancy Permit shall not be issued until all required parking, sidewalks and street and parking lot lighting have been constructed and installed, and all required street landscaping and parking lot landscaping has been placed or otherwise bonded under an improvements agreement, as required in the Declaration.

## **2.3 Tenancies:**

Where a Use is conducted under a tenancy, a separate Occupancy Permit shall be issued jointly to the Owner of the Lot or Tract and each tenant conducting a use upon the Lot or Tract.

## **2.4 Non-Transferable:**

An Occupancy Permit is personal to the person or entity to

whom issued and is non-transferable.

## **2.5 Expiration:**

An Occupancy Permit expires upon change of ownership of a Lot or Tract, change in tenancy, alteration of a Structure, change in Use or cessation of any previously approved Use, and a new Occupancy Permit must be applied for and obtained before any further occupancy or Use is made of the Structure, or engaged in upon the Lot or Tract, whether such occupancy or Use is the same as, or different from, that which was previously approved.

## **3.0 Big Sky Town Center Conditional Use Permits.**

### **3.1 Intent:**

The intent of a Big Sky Town Center Conditional Use Permit (CUP) is to provide and permit a Use, Development or Structure other than those specifically permitted under the Zoning Regulation or Declaration which may be appropriate under certain safeguards or conditions.

### **3.2 Requirements:**

No Use, Development or Structure which is not listed, as an expressly permitted Use, Development or Structure under the Zoning Regulation or Declaration is permitted unless and until approval of such Use, Development or Structure is obtained under procedures set forth in the Zoning Regulation and the Declaration.

### **3.3 Required Findings:**

No CUP shall be granted or approved unless the Board of Directors of the TCOA finds:

- a. That the minimum requirements for issuance of a CUP under the Zoning Regulation or Declaration have been met;
- b. The Use, Development or Structure conforms to the objectives and intent of the Declaration;
- c. The Use, Development or Structure will not adversely affect nearby properties or their occupants; and
- d. The Use, Development or Structure meets density, coverage, setback, yard, height and all other regulations of the district in which it is to be located, unless otherwise provided for in the Declaration.

### **3.4 Procedure:**

- a. All applications for a CUP shall be filed with the TCAC on forms provided by the TCAC and accompanied by the required fee. An application is complete when it contains all information required by the form and the requisite fee has been paid.
- b. The TCAC shall then cause to be made such investigation of the Application as is necessary to evaluate the required

findings for issuance of a CUP and make a recommendation thereon to the TCOA Board of Directors.

- c. Upon completion of the investigation and receipt of the TCAC's recommendation, the Board of Directors of the TCOA shall either approve or deny the Application, and notice thereof shall be sent to the applicant, stating either the conditions of approval or reasons for denial.
- d. If an application for a CUP is denied, the TCOA will outline the reasons for denial. The applicant may then re-apply.

### **3.5 Conditional Approval:**

Issuance of any CUP may be subject to such reasonable limitations or conditions as the Board of Directors of the TCOA may deem necessary to permitting the conditional use, to enhance the Property, to reduce any adverse affects on nearby property or residences, or to preserve the character of the area or make it more acceptable in other ways. Such conditions may include, without limitation, the following:

- a. Special setbacks, yards, open spaces and buffers;
- b. Fences and walls;
- c. Lighting;
- d. Regulation of signs;
- e. Regulation of vehicular ingress and egress;
- f. Regulation of type of activities that have off-site impacts;

- g. Landscaping and its maintenance;
- h. Time schedule of proposed development;
- i. Regulation of odors, smoke, dust, airborne particles, vibration, glare, heat, light or noise;
- j. Requirements for dedication or improvements of rights-of-way;
- k. Regulation of placement of uses on the property;
- l. Regulation of height or square footage;
- m. Regulation of the nature and extent of the use;
- n. Regulation of the length of time such use may be permitted;
- o. Requirements for restoration of the property.

### **3.6 Security:**

As a condition to issuance of a CUP, the Board of Directors of the TCOA may require guarantees in the form of cash deposits or other security in order to assure compliance with the conditions imposed under the CUP.

### **3.7 Term and Expiration:**

All CUPs issued for a definite term and shall automatically expire at the end thereof. All uses authorized pursuant to a CUP shall be commenced before expiration of the term, and all construction in connection therewith completed before such expiration. Otherwise, the use and/or construction authorized shall be deemed to have lapsed.

### **3.8 Revocation or Modification:**

Any CUP may be revoked or modified by the TCOA Board of Directors under any of the following circumstances:

- a. If conditions have changed substantially from those at the time the permit was granted;
- b. Revocation or modification is necessary to protect the health, safety or welfare of the area in which the subject property is situated, or the residents thereof, or to preserve the integrity of existing use patterns in the area in which the subject property is situated;
- c. A person or entity holding the permit (“permittee”) has not materially changed his, her or its position by detrimentally relying upon the issuance of the CUP; or
- d. The permittee has failed to comply with the conditions upon which it was issued.

Modification or revocation may occur only after notice of revocation or modification is delivered to the permittee and the permittee is given the opportunity to demonstrate why the permit should not be revoked or modified.

### **3.9 Issuance of a DLUP under a CUP:**

No DLUP shall be issued other than in accordance with the terms and conditions of the CUP.

### **3.10 Extensions:**

- a. No later than thirty (30) days prior to expiration of a CUP, the permittee may file an application with the TCAC requesting an extension of time thereon and setting forth the reasons for the request. Each application shall be accompanied by the required fee.
- b. The Board of Directors of the TCOA may extend the CUP previously issued for a period equivalent to the original period for which it was granted, or for 12 months, whichever is shorter.
- c. An extension may only be granted upon a finding by the Board of Directors of the TCOA that no change of condition or circumstance has occurred that would have been grounds for denying the original CUP application.
- d. Requests for extension shall be considered only during the thirty (30) days immediately prior to expiration of the original CUP. The decision of the Board of Directors of the TCOA shall be final. If the extension request is denied, a subsequent Application for Extension of the CUP cannot be made and shall not be entertained by either the TCAC or the Board of Directors of the TCOA.

### **4.0 Big Sky Town Center Temporary Occupancy Permits**

#### **4.1 Intent:**

The intent of this Section is to provide for temporary occupancy of a recreational vehicle as living quarters by short-term guests of an Owner or inhabitants of a permanent Dwelling Unit in the Town Center Residential District only. No temporary occupancy permits will be issued in the Town Center Commercial District.

#### **4.2 Requirement:**

A Temporary Occupancy Permit must first be obtained from the TCOA for temporary use of a recreational vehicle, pull-behind trailer, or Accessory Building or Structure as living quarters by short-term guests of an Owner or inhabitant of a permanent Dwelling Unit in the Town Center Residential District only. Temporary occupancy of any recreational vehicle, or pull-behind trailer is prohibited in the Town Center if a Temporary Occupancy Permit has not been issued.

#### **4.3 Procedure:**

A Temporary Occupancy Permit may be issued to the Owner of a Lot or Tract upon application filed with the TCAC and decided upon by the Board of Directors of the TCOA for a period not to exceed 12 months, provided all of the following conditions are met:

- a. There is a permanent Dwelling Unit on the property;
- b. Temporary dwelling or occupancy does not violate any valid existing deed restrictions; and
- c. The Recreational Vehicle, pull-behind trailer, Accessory Building or other Structure for which a Temporary Occupancy Permit is sought complies with all siting requirements contained in the Zoning Regulation, the Design Standards and Guidelines, and the Declaration

## **5.0 Big Sky Town Center Variance Permits**

### **5.1 Purpose and Authorization:**

A Big Sky Town Center Variance Permit (Variance) authorizing a Variance or deviation from the requirements of the Declaration may be issued by the Board of Directors of the TCOA where such Variance or deviation will not be contrary to the public interest, and, owing to special conditions, literal enforcement of the Declaration will result in a particular, unnecessary hardship to the Owner and not a mere inconvenience. No Variance shall be granted to allow Use or Development of the Property or erection of a Structure which is not authorized within the District in which the proposed Use, Development or Structure is to be located. In granting a Variance, the Board of Directors of the TCOA may attach such conditions as it finds necessary to achieve compliance with the criteria of Section 5.2 below.

### **5.2 Criteria for Granting a Variance:**

In considering whether a variance is in the public interest and whether, owing to special conditions, literal enforcement of the Declaration will result in a particular unnecessary hardship to the Owner, and not a mere inconvenience, the Board of Directors of the TCOA shall consider the following criteria:

- a. Exceptional or extraordinary circumstances apply to the property for which a Variance is sought that do not apply generally to other properties in the same zone (as shown on the Official Zoning Map), District or vicinity and that result from a Tract or Lot size or shape, topography, or other circumstances over which the Owner of the property has had no control since adoption of the Zoning Regulation, and the Declaration.
- b. A Variance is necessary for preservation of a property right of the applicant that is substantially the same as that possessed by Owners of other property in the same zone (as shown on the Official Zoning Map), District or area.
- c. A Variance would not be materially detrimental to property in the same zone, District or area in which the property is located.
- d. The Variance requested is the minimum Variance that would alleviate the unnecessary hardship.

In addition to the foregoing, if applicable, the criteria contained in Sections 33.12 through 33.17 of the Zoning Regulation, as those Regulations may be amended, together with the “Standards” or criteria specified in the PUD or Design Standards and Guidelines for the specific Lot or Tract in issue, shall be followed and complied with as concerns approval of any variance for a DLUP for Hillside Land, Ridgeline Land, and all lots located adjacent to the South Fork River or Town Center Bluff area, referenced in Section 1.3(b). above, all of which criteria are by this reference incorporated herein.

Any Variance from Lot or setback configuration or orientation; Maximum Building Area (Lot Coverage) or applicable slope limitations shall consider the foregoing criteria, to the extent applicable.

### **5.3. Procedure:**

- a. Written applications for a Variance shall be filed with the TCAC. The requisite fee shall accompany the application. An application shall not be regarded as complete or filed until the fee is paid.
- b. The TCAC shall cause to be made such investigation bearing on the Application as will provide information necessary to assure that action on the Application is consistent with the intent and purpose of the Declaration and that information necessary to evaluating the criteria for granting a Variance has been supplied. The TCAC shall then make a recommendation for approval or denial to the Board of Directors of the TCOA.

- c. If an application for a Variance is denied, the TCOA will outline the reasons for denial. The applicant may then re-apply.

### **5.4 Approval/Denial:**

The Board of Directors of the TCOA may approve any application for a Variance which satisfies all of the criteria set forth in this Section, and in connection therewith may designate such conditions as the Board deems necessary to secure substantial protection for public health, safety and general welfare, and to meet the criteria set forth in Subsection 5.2., above. Such conditions shall be made a part of any approved Permit. Any application which fails to meet the intent, purpose and criteria for granting a Variance contained in this Section shall be denied.

## **6.0 Big Sky Town Center Sign Permits**

### **6.1 Required:**

Unless the sign is exempt, no person shall erect, alter or relocate any permanent or temporary sign regulated under the Big Sky Town Center Master Signage Plan without first obtaining a Big Sky Town Center Sign Permit from the Board of Directors of the TCOA.

### **6.2 Standards, Requirements and Procedures:**

All standards, requirements and procedures for obtaining a TCOA Sign Permit and for approval thereof are the same as those set forth in the Big Sky Town Center Master Signage Plan.

## **7.0. PUD Approvals:**

### **7.1 Application:**

All applications for approval of either a Master PUD or Subsequent PUD under Section 24 of the Zoning Regulation shall also be made to the TCAC for ultimate approval or denial by the Board of Directors of the TCOA.

### **7.2 Standards, Requirements and Procedures:**

Except as modified by this Section, all standards, requirements, procedures for application, investigation and approval of PUD applications are the same as those set forth in Section 24 of the Zoning Regulation.

## **8.0. Non-Conforming Lots, Uses and Structures:**

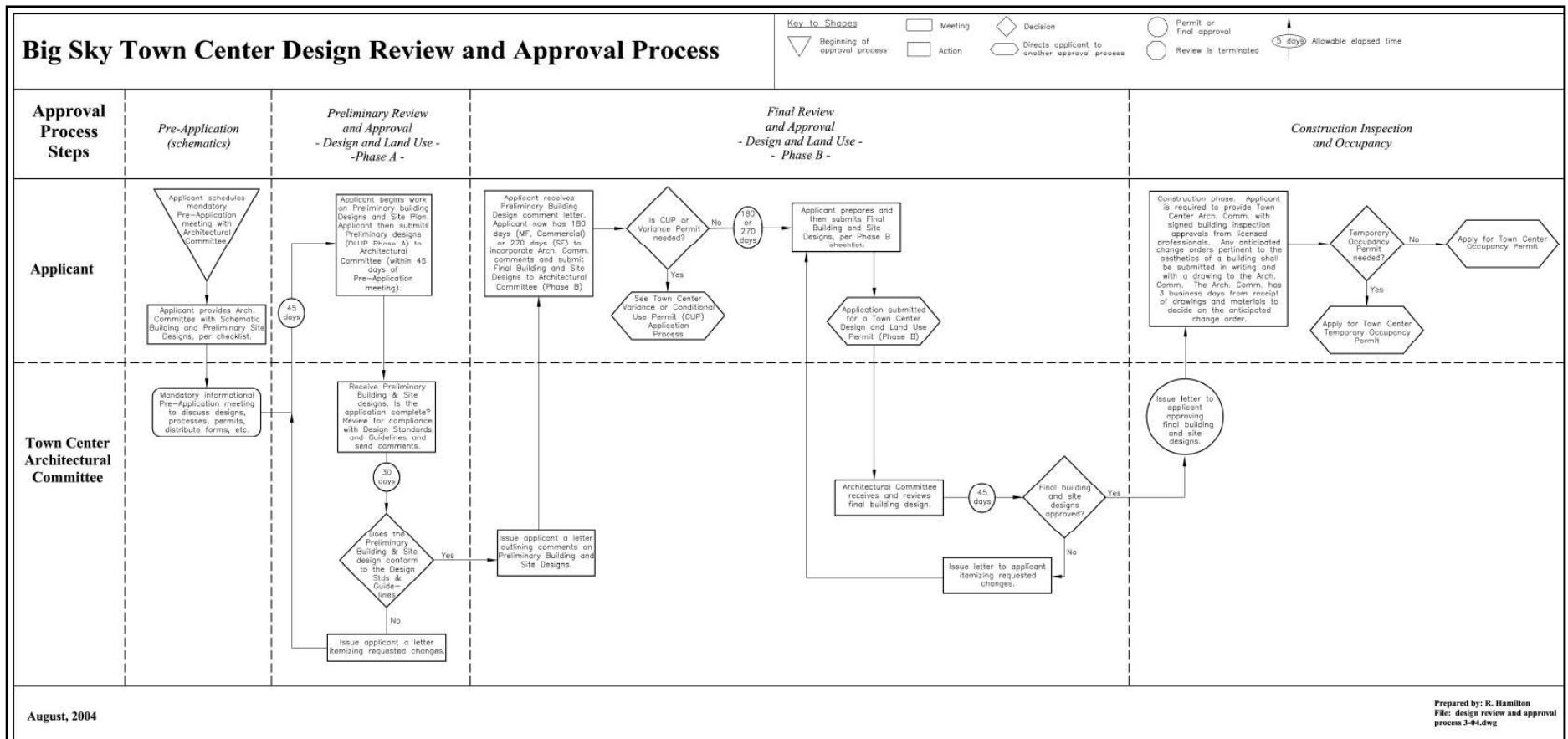
### **8.1 Incorporation by Reference:**

Except as otherwise provided in the Declaration, the provisions of Section 43 of the Zoning Regulation, as that Regulation may be amended, regarding “Non-Conforming Lots, Uses and Structures” are incorporated herein and by this reference made a part hereof.

### **8.2. Interpretation:**

All references in Section 43 of the Zoning Regulation to a public official or public entity, such as the “Zoning Enforcement Agent” or the “Planning and Zoning Commission” shall be interpreted as referring to the TCAC as concerns submission, investigation and review of an application and as referring to the Board of Directors of the TCOA as it concerns all approvals or decisions that are required to be made by the TCOA.

### III. DESIGN REVIEW & APPROVAL PROCESS FLOWCHART



## IV. GENERAL DESIGN STANDARDS & GUIDELINES

These General Design Standards and Guidelines apply to all proposed residential and commercial development in the Town Center. In addition to these general standards and guidelines, all proposed development must adhere to the specific standards and guidelines that apply to their land use. For example, a proposed developer for a project in the Commercial Core area should reference Section IV and Section V to plan the project.

A *Standard* is defined as a requirement specifying a particular aspect of site or building design and is thus mandatory.

A *Guideline* is defined as a recommendation and is thus discretionary and advisory. It is meant to provide advice and direction as to how the applicant might achieve the standard, as defined above.

### A. SITE DESIGN

#### ***1.0 Transportation and Circulation***

This section describes all types of vehicular and pedestrian circulation within the Town Center. These standards are minimum requirements and are not meant to replace industry standards or acceptable alternatives, when reviewed and approved by TCAC.

##### **A well-designed transportation and circulation system includes:**

- a. Addressing residential densities; demographics of the Town Center; local and national standards; sensitivity to environmental, land and cultural issues; and overall safety.
- b. Designing with all the appropriate industry standards, as governed by design and engineering professionals, including width of circulation routes or paths; turning radii; sight vision triangles and distances; horizontal and vertical curvature; design speed; angle of intersections of streets, drives and paths; and grading and drainage.
- c. Incorporating transportation networks into neighborhood and community while minimizing safety conflicts and providing effective routes throughout Town Center and to adjacent areas.
- d. Separation of vehicular and pedestrian traffic where possible or the mitigation of potential conflicts if separation is impossible.
- e. Efficiently planned transportation and circulation systems and patterns to preserve open space, and to create purposeful and usable public and private spaces.

A well-designed transportation and circulation system should also address the needs of the pedestrians within the Town Center. The design of all circulation routes should be developed to encourage pedestrian activity. The quality of life will be enhanced by strengthening the pedestrian network of sidewalks, plazas, pathways and connections in and between Town Center and adjacent neighborhoods. It will also increase the appeal of walking and biking throughout the Town Center.

Developing and maintaining a fine level of human scale and detail can enhance pedestrian experiences. Variety in color and texture

*Continued on the next page . . .*

in building and landscape design is also desired to provide visual interest. Pedestrians should find that walking along a pathway or down a sidewalk elicits a comfortable and pleasant experience. The scale of buildings and the architectural treatments, along with landscaping, ground plane treatments, and site furniture should enhance this pedestrian-oriented experience.

## PARKING

### ***STANDARDS: PARKING***

- All parking lots shall be constructed with standard 6" curb and 18" gutter. In the residential zone only, a ribbon concrete border may be installed in lieu of curb and gutter to provide a well-defined paving edge, and to enhance aesthetics. All ing beds or islands within the parking lot shall also be constructed with curb and gutter (or ribbon concrete in the residential zone).
- All parking lot striping shall be White.
- All parking lots located within the Parking District shall be designed according to the Parking Ordinance and these minimum standards and guidelines.
- All non-accessible parking spaces within the Town Center shall be designed to be ten (10) feet by twenty (20) feet in size.
- Parking areas shall be screened from view of the public right-of-ways, pedestrian plazas and adjacent residential properties.
- Off-street parking shall be located behind a building, unless otherwise approved by the TCAC.

### ***GUIDELINES: PARKING***

- The Parking Regulations, Management Plan, and Ordinance is provided under tab #10 of- the Development Reference Manual.

- Parking lots may be constructed of modular pavers, concrete or asphalt.

## ACCESSIBLE PARKING

### ***STANDARDS: ACCESSIBLE PARKING***

- All handicap accessible spaces shall conform to the federal standards enumerated in the Americans with Disabilities Act (ADA) and the Federal Standard 795, (Uniform Federal Accessibility Standards), or applicable current regulations.

## TRANSPORTATION AND CIRCULATION

### ***STANDARDS: TRANSPORTATION & CIRCULATION***

- All streets and parking lots within the Town Center shall be designed to promote safe and efficient circulation while providing access to individual parking spaces, buildings, and facilities for vehicles, bicycles and pedestrians.
- All driveway approaches shall align with adjacent accesses (wherever possible) and shall be constructed to the Big Sky Town Center Standard as shown under Tab #11 of the Development Reference Manual.

### ***GUIDELINES: TRANSPORTATION & CIRCULATION***

- Clearly identify access points for vehicles and pedestrians.
- No parking or loading area should create a situation in which vehicles are required to back onto a public road.
- Parking areas for single-family dwellings with access to local and collector roads are exempt from this requirement.

*Continued on the next page . . .*

- All parking lots shall provide proper grading and drainage to allow safe and efficient movement of pedestrians and vehicles throughout the parking lot.

## **LOADING AREAS**

### ***STANDARDS: LOADING AREAS***

- Loading areas shall be designed according to the requirements of the Gallatin Canyon/Big Sky Zoning Regulation.

### ***GUIDELINES: LOADING AREAS***

- Reference the Gallatin Canyon/Big Sky Zoning Regulation.

## **PARKING LOT SNOW STORAGE & REMOVAL**

### ***STANDARDS: PARKING LOT SNOW STORAGE & REMOVAL***

- The TCOA will provide snow removal for the commercial district parking and circulation system, and all road tracts and associated sidewalks within the Town Center project. The TCOA is not responsible for snow plowing or maintaining sidewalks or driveways within residential lots.
- All residential developments shall provide their own snow plowing and shoveling for all sidewalks and driveways within their lot.
- Each parking lot shall have adequate snow storage area for excessive snowfall during the winter months.

### ***GUIDELINES: PARKING LOT SNOW STORAGE & REMOVAL***

- Snow storage areas should be well-integrated into the storm management system and grading and drainage of the site.
- Snow storage areas should be attractive and well-drained during the

summer months, in order to maintain a pleasant appearance of these areas and not allow standing water to form.

- Some snow may need to be hauled off-site.

## **STORMWATER DRAINAGE**

### ***STANDARDS: STORMWATER DRAINAGE***

- A stormwater drainage and management plan shall be submitted for all parking lots that are over 20,000 square feet in area.
- All stormwater shall be directed to the streets, where it will be collected and transported to the retention ponds.

### ***GUIDELINES: STORMWATER DRAINAGE***

- The stormwater drainage and management plan should be designed to accommodate the approximately 150 inches of snow that falls annually in the Big Sky meadow area.

## **STREET & PARKING LOT LIGHTING**

### ***STANDARDS: STREET & PARKING LOT LIGHTING***

- See Lighting Standards.
- For all commercial development and residential street lighting, the project developer shall work with the TCAC and NorthWestern Energy (NWE) to secure installation of all parking lot and street lighting through a lighting lease program between TCOA and NWE. The project developer is responsible for installing electrical-rated UL conduit and light bases, per NWE specs.
- The project developer shall belong to the Lighting District, which will install and maintain all street and commercial parking lot lights.

*Continued on the next page . . .*

- The lighting fixture authorized for all parking lots and street lights is illustrated below. Contact the TCAC for lighting specifications.
- Project developers are responsible for installing the necessary electrical conduit and installation of the concrete light bases – see the Development Reference Manual for more info.

#### ***GUIDELINES: STREET & PARKING LOT LIGHTING***

- The “Lighting Standards” requirements will ensure that lighting is not excessive and minimizes glare or deflection of light to adjacent properties and streets.

#### ***IMAGES: STREET & PARKING LOT LIGHTING***



Architectural Area Lighting (AAL)  
Fixture for street lights , 18 high.



Greenlee Lighting Fixture for parking lots,  
18 ft. high.

### **PARKING LOT LANDSCAPING**

#### ***STANDARDS: PARKING LOT LANDSCAPING***

- See Landscaping Requirements.

#### ***GUIDELINES: PARKING LOT LANDSCAPING***

- These requirements will ensure that parking lots are screened from adjacent properties and streets and that the parking lots are not cold and empty spaces.

### **PEDESTRIAN CIRCULATION**

#### ***STANDARDS: PEDESTRIAN CIRCULATION***

- The project developer is responsible for sidewalk improvements to the back of curb in the right-of-way adjacent to their lot. The Master Developer is responsible for roadway improvements including road, asphalt, and curb and gutter.
- The perimeter of each lot, along and in the road right-of-way, shall have 5-foot wide sidewalks that are inviting to pedestrians and link to adjacent sidewalks or pathways on adjacent property.
- A 4-foot to 8-foot landscaped boulevard strip shall be maintained between the roadway back-of-curb and the sidewalk. Sidewalks shall be located in the right-of-way.
- Work with adjacent project developers and the TCAC in order to provide bicycle circulation routes that effectively connect adjacent properties.
- Buildings shall be setback from trails and common open space in order to provide an enjoyable experience for pedestrians and to preserve natural resources.
- All sidewalk intersections shall be designed and constructed according to pre-established design and specifications. The leaf impression

*Continued on the next page . . .*

concrete design at all major intersections shall be installed as specified by the TCAC. For more details, please contact the TCAC or consult the Development Reference Manual.

- The scoring pattern for all commercial area sidewalks shall be hand-tooled (not saw-cut) according to pre-established design and specifications. The hand-tooled scoring pattern may be modified with approval by the TCAC. For more details, please contact the TCAC or consult the Development Reference Manual.
- The TCOA may require the “Est 2000” concrete stamp at pedestrian ramps and other locations.

## ***GUIDELINES: PEDESTRIAN CIRCULATION***

- Provide trail or sidewalk connectors with adjacent properties and negotiate the location of these with those adjacent properties and the TCAC.
- All concrete flatwork scoring lines or joints in the Town Center should be hand-tooled (not saw-cut) to enhance aesthetics.
- Accommodate on-street bicycle routes by minimizing curb cuts and blind driveway intersections that could be hazardous to cyclists.
- Provide bicycle parking and storage facilities on property.
- Sidewalk alignment may meander slightly to add visual interest.

## ***IMAGES: PEDESTRIAN CIRCULATION***



## **EMERGENCY ACCESS & FIRE PROTECTION**

### ***STANDARDS: EMERGENCY ACCESS & FIRE PROTECTION***

- Consult with the Big Sky Fire Department and local applicable building codes for information regarding emergency access and fire protection on lots within the Town Center.

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## SITE FURNISHINGS

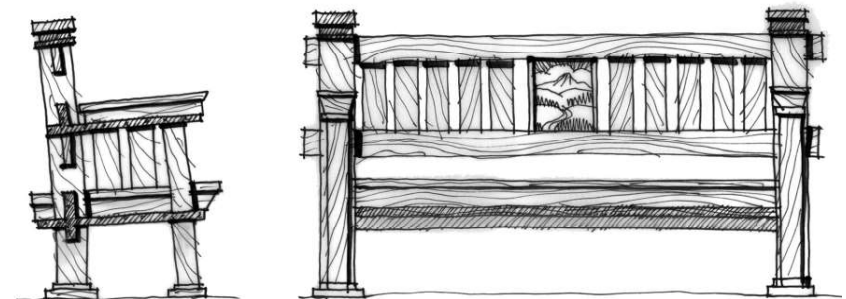
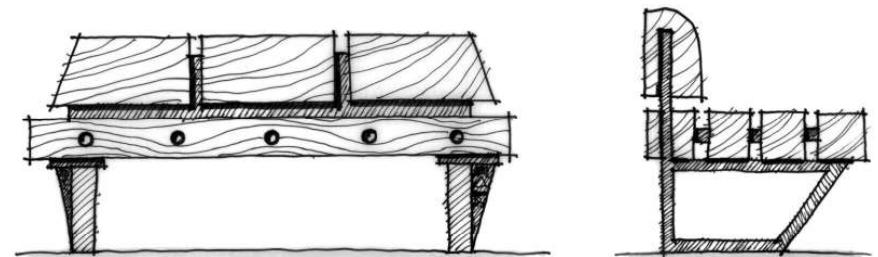
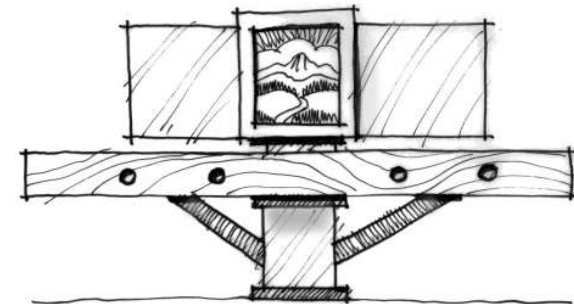
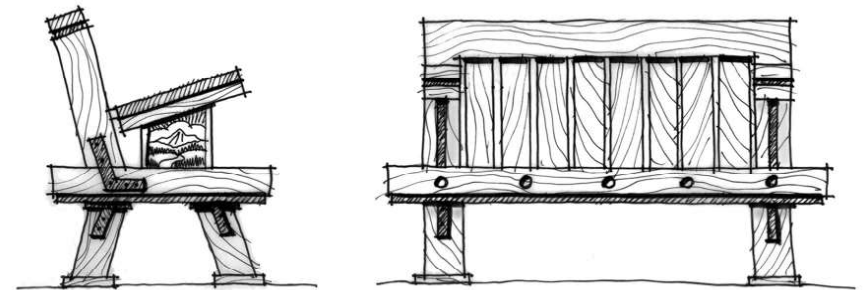
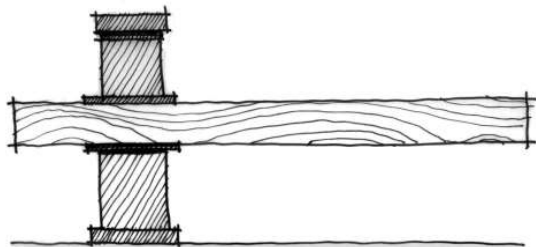
### **STANDARDS: SITE FURNISHINGS**

- Site furnishing requirements only apply to commercial projects.
- Site furniture shall be simple in character.
- Site furniture, like signage, shall be designed to be compatible with the natural character of Town Center and its surroundings, while addressing the needs of the project.
- Benches installed with commercial projects shall be one of those illustrated in this section, and shall be located in a sunny location (if possible).
- All benches within the Town Center commercial areas shall be purchased and installed by the project developer using shop drawings available from the TCAC and in the DRV.

### **GUIDELINES: SITE FURNISHINGS**

- If the project developer prefers a site furnishing that is not illustrated here, they should submit manufacturer cut sheets and/or samples to TCAC for review and approval.
- Public open spaces should have animal-proof trash and recycling receptacles placed near seating areas and points of entry.
- Some benches or seating should face each other to encourage human interaction.

### **IMAGES: SITE FURNISHINGS**



## BIKE RACKS

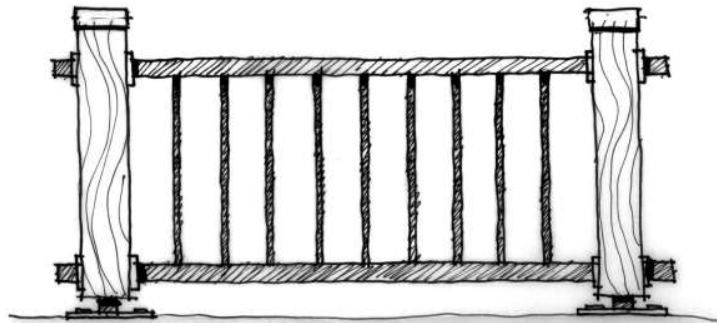
### **STANDARDS: BIKE RACKS**

- All commercial lots shall have at least one (1) bike rack installed for each building entrance on the lot, or every 40 feet of building frontage on the road, whichever is less. The project developer may group bike racks into one or two main entrances on the site in order to centralize bike parking facilities.
- All multi-family residential lots shall install at least one bike rack for every six (6) units on the lot.
- All bike racks within the Town Center commercial areas shall be purchased and installed by the project developer using shop drawings available from the TCAC and in the Development Reference Manual.

### **GUIDELINES: BIKE RACKS**

- Bike racks for parks, open space, and residential areas should be constructed of metal and wood combination of materials, as seen below.

### **IMAGES: BIKE RACKS**



Town Center Open Space/Park Bike Rack



Town Center Standard Bike Rack

## TRASH DUMPSTERS & ANIMAL-PROOF TRASH CONTAINERS

### **STANDARDS: TRASH DUMPSTERS & ANIMAL PROOF TRASH CONTAINERS**

- All commercial buildings shall provide at least one animal-proof trash container per building or unit (whichever is less). This should be located along the streetscape in front of the building
- All commercial buildings shall provide at least one enclosed, screened trash dumpster per building or unit (whichever is less).
- All trash dumpsters shall be screened from parking lots, outdoor eating areas, sidewalks, adjacent public or private streets, adjacent residential properties or dissimilar land uses by means of a durable enclosure.
- All commercial trash dumpsters shall have three permanent non-movable sides and one side that can be accessed for container removal

*Continued on the next page . . .*

by the contracted trash collector. A roof is strongly encouraged because of heavy snowfall.

- All animal-proof trash containers within the Town Center commercial areas shall be provided and installed by the project developer and shall meet the Town Center standard specifications as shown in the Development Reference Manual.
- All garbage and other refuse shall be collected and stored in animal-proof containers and dumpsters and disposed of in such a manner as the TCOA may determine.
- Trash enclosures shall be designed according to the Town Center's standard design, which is located under Tab #11 of the Development Reference Manual. The TCOA also has an electronic copy of the standard design in AutoCAD format.
- Call Allied Waste Systems at 406-586-0606 for trash collection services.

#### ***GUIDELINES: TRASH DUMPSTERS & ANIMAL PROOF TRASH CONTAINERS***

- Residential trash dumpsters and containers should be approved by the contracted trash collector and should be stored in a garage or shed.
- All commercial trash dumpster enclosures shall be constructed of attractive and durable materials that compliment the architecture and materials of the buildings on the lot.
- The trash enclosures and containers should be maintained in good condition at all times.
- Reference the Declaration for additional use restrictions on junk,

garbage, or refuse disposal.

- See Development Reference Manual for standard animal-proof trash container specs.

#### ***IMAGES: TRASH DUMPSTERS & ANIMAL PROOF TRASH CONTAINERS***



Example of the TCOA-approved animal-proof trash container for the commercial district.

### **MECHANICAL EQUIPMENT**

#### ***STANDARDS: MECHANICAL EQUIPMENT***

- All ground-mounted mechanical equipment shall be screened from on-site and adjacent uses by means of landscaping or fencing.
- Air conditioner condensers are considered mechanical equipment.
- Ground-mounted mechanical equipment shall be located so that it is accessible for routine maintenance and repair.

#### ***GUIDELINES: MECHANICAL EQUIPMENT***

- Screening of mechanical equipment can be achieved either by

architectural or landscape architectural methods. Using parapet walls, building vents or equipment into the roof, or concealing equipment with fences, shrubbery or trees all works well.

## FENCES

### **STANDARDS: FENCES**

- All fences shall be approved by the TCAC prior to installation.
- Fences shall be constructed in residential areas only or in Commercial Core and Neighborhood Commercial areas only where it is desirable to screen mechanical equipment, trash dumpsters/receptacles or freight loading areas.
- Chain link fences are prohibited
- Fences are prohibited in front yards.
- Fences shall be finished on both sides.
- All fences not used to screen mechanical equipment shall be semi-transparent.
- Fencing shall be five (5) feet or lower except when:
  - Adjacent to parks and open space: four (4) foot high maximum.
  - Used to screen mechanical equipment: height variable, not to exceed five (5) feet.
  - Within 25 feet of street intersection: no taller than three (3) feet.

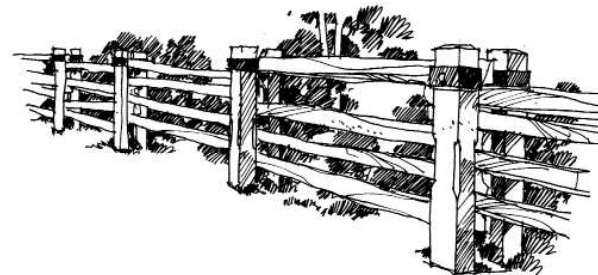
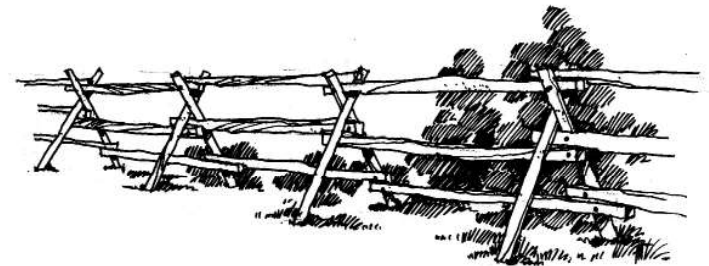
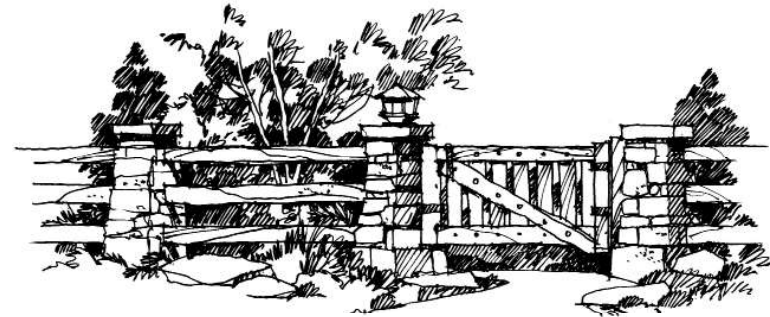
### **GUIDELINES FENCES:**

- Fences or enclosures should have at least one perimeter access point for the property or space in which it provides enclosure.
- Appropriate materials for fences in all locations are stained wood, stone or masonry, wrought iron, or cast metal.
- Inappropriate materials for fences are chain link, slatted “snow”

fences, and mesh “construction” fences, which are all prohibited.

- Retaining walls should not exceed three (3) feet in height unless designed and engineered to industry standards for structural integrity.
- For the purpose of fence locations, the front yard is measured from the front building wall of the building, where it meets with the side building wall, extending the distance to the front property line.

### **IMAGES: FENCES**



## SIGNS

### **STANDARDS: SIGNS**

- All signs shall be designed and installed according to the Master Signage Plan.
- All signs shall be reviewed and approved by TCAC prior to installation.

### **GUIDELINES: SIGNS**

- The Master Signage Plan has been provided in the Development Reference Manual.
- A Sign Permit Application is provided in the Development Reference Manual, and at the back of the Master Signage Plan.

## LIGHTING

### **STANDARDS: LIGHTING**

- Reference the Gallatin Canyon/Big Sky Zoning Regulation for lighting requirements in Big Sky.
- All commercial parking lot, street, and roadway lighting shall be designed to meet the minimum Illuminating Engineering Society (IES) standards, unless otherwise approved by the TCAC. This includes meeting minimum average lighting levels as well as uniformity ratios.
- In most cases, parking lots should be a minimum of 0.2 footcandles, and enhanced security parking lot lighting levels should be about 0.5 footcandles. In general, parking lot drive lanes should be 0.3 – 0.4 footcandles of illumination.
- In no case shall the lighting in the Town Center exceed seven (7) footcandles of illumination, unless otherwise approved by the TCAC.

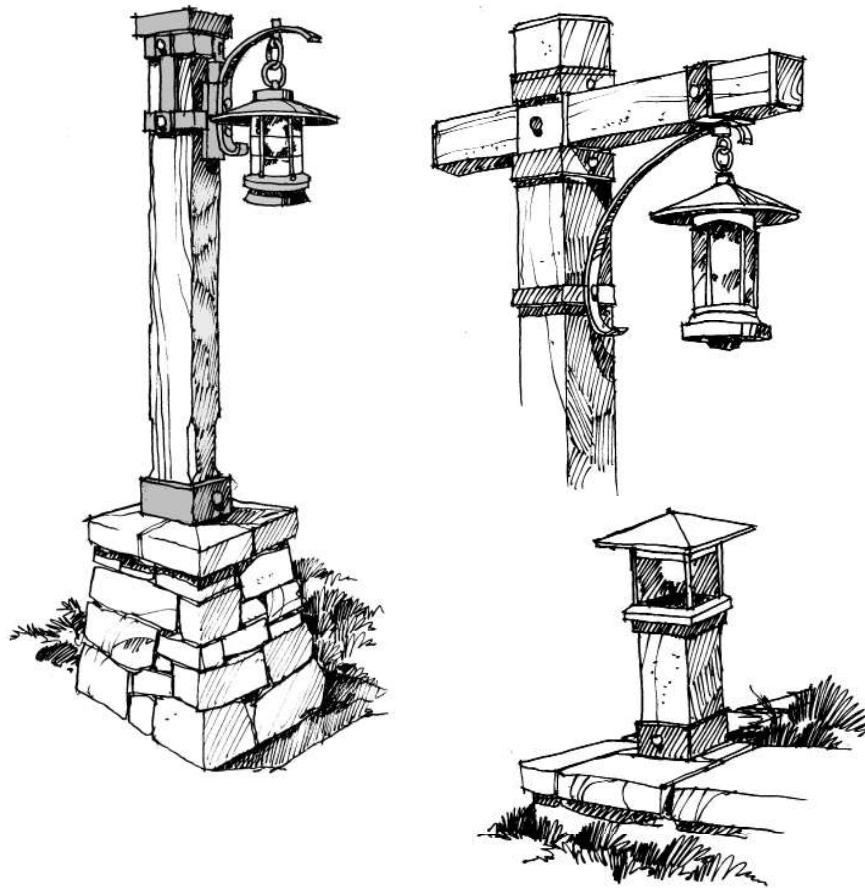
- All DLUP's shall be submitted with a lighting plan that has a photometric point-by-point lighting calculation grid showing footcandle levels including maximum footcandles, minimum footcandles, and uniform lighting ratios.
- Night lighting for all projects shall be subdued and harmoniously blended into the natural nocturnal ecosystem.
- Site lighting shall provide safe and enjoyable experiences for pedestrian or community activity at night.
- Site lighting shall be at a pedestrian scale and should help define functional areas of a property.
- Site lighting shall be scaled appropriately for the commercial or residential property on which it is located.

### **GUIDELINES: LIGHTING**

- Parking Lot and Street lighting fixtures have been chosen by the TCAC. The applicant should coordinate the location of other streetscape features such as trees and sidewalks with the TCAC early in the design process.
- Avoid duplicating fixtures. Do not use two fixtures that light the same area.

*Continued on the next page . . .*

## ***IMAGES: LIGHTING***



## **OUTDOOR STORAGE**

### ***STANDARDS: OUTDOOR STORAGE***

- All storage on all lots shall be contained within the confines of the building, the garage, or approved sheds.

## **PUBLIC ART**

### ***STANDARDS: PUBLIC ART***

- The use of public art in pedestrian plazas, open space, and near building entrances is encouraged.
- The proposed installation of any public art in the Town Center shall be reviewed and approved by the TCAC prior to installation.

### ***GUIDELINES: PUBLIC ART***

- Consider locations where art may be viewed from pedestrian and vehicular circulation routes.
- Art that is developed as an integral part of the architecture is also encouraged.
- The placement of public art should be coordinated with the development of open space on a lot.

All landscape plans must comply with the following mandatory landscape provisions of this section and the landscape provisions specific to the land use in which the lot is located (i.e. Commercial Core or Single-Family Residential).

These landscaping requirements are essential to providing the Town Center with an attractive and ecologically balanced environment that provides positive experiences for residents and visitors alike. These requirements provide for the buffering of properties from wind and snow; the screening of parking from residences and pedestrian areas; the preservation and enhancement of land value; the enhancement of entry areas to the development and to individual buildings; the conservation of water and the use of native or naturalized species; and the development of enjoyable and pleasant environments for all.

Landscape and irrigation plans shall be prepared and certified by a professional designer who is a registered Montana Landscape Architect; an individual with a degree in landscape design and two years of professional design experience; or an individual with a degree in a related field (such as horticulture, botany, science) and at least five years of professional design experience. All landscape plans shall contain the name and contact information of the Landscape Architect or designer.

## B. LANDSCAPE DESIGN

### 1. GENERAL LANDSCAPING

#### TREE PRESERVATION

##### **STANDARDS: TREE PRESERVATION**

- Existing large trees over 4" in caliper and other vegetation on-site shall be preserved and maintained, whenever possible.
- Proposed developments shall strive to preserve the maximum number of trees that would maintain a healthy state for at least twenty years after construction.

##### **GUIDELINES: TREE PRESERVATION**

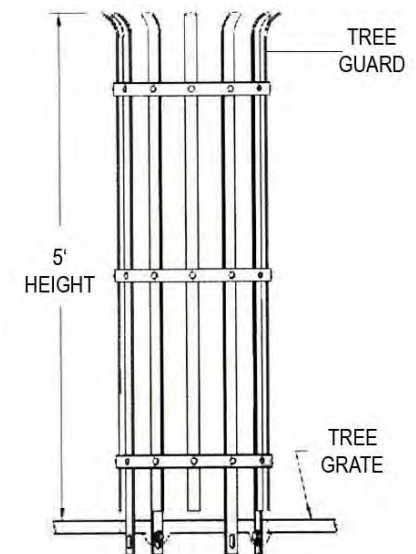
- In wooded areas, the lot developer shall avoid excessive compaction under trees; placing backfill or grading material against existing trees; disturbing or felling trees needlessly; burning slash piles near existing trees, especially those with low branches or very flammable material; and changing grades excessively by means of cut and/or fill.

## STREET TREES

### **STANDARDS: STREET TREES**

- The project developer shall install all street trees within the right-of-way for all commercial and residential projects. The TCOA will maintain all right-of-way street trees within the commercial areas.
- In commercial areas, street trees shall have a tree grate, tree guard, and electrical outlet at the tree guard. These shall be provided and installed by the project developer. The model and make of these fixtures is regulated by the TCAC and shall be provided as indicated in the illustrations that follow on this and the following page.
- The project developer shall a pre-determined mix of the three street tree species, which are shown in this section, in the street right-of-way adjacent to their lot at a center-to-center spacing of thirty (30) feet. See the Developer's Reference Manual for ing details.

### **IMAGES: STREET TREES**



Tree Guard, Neenah Foundry  
Company 1-800-558-5075 Boulevard  
Collection, Type C, 20" diameter

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Tree Grate, Neenah Foundry Company 1-800-558-5075  
(tree grate to remain unpainted) Model R-8708.



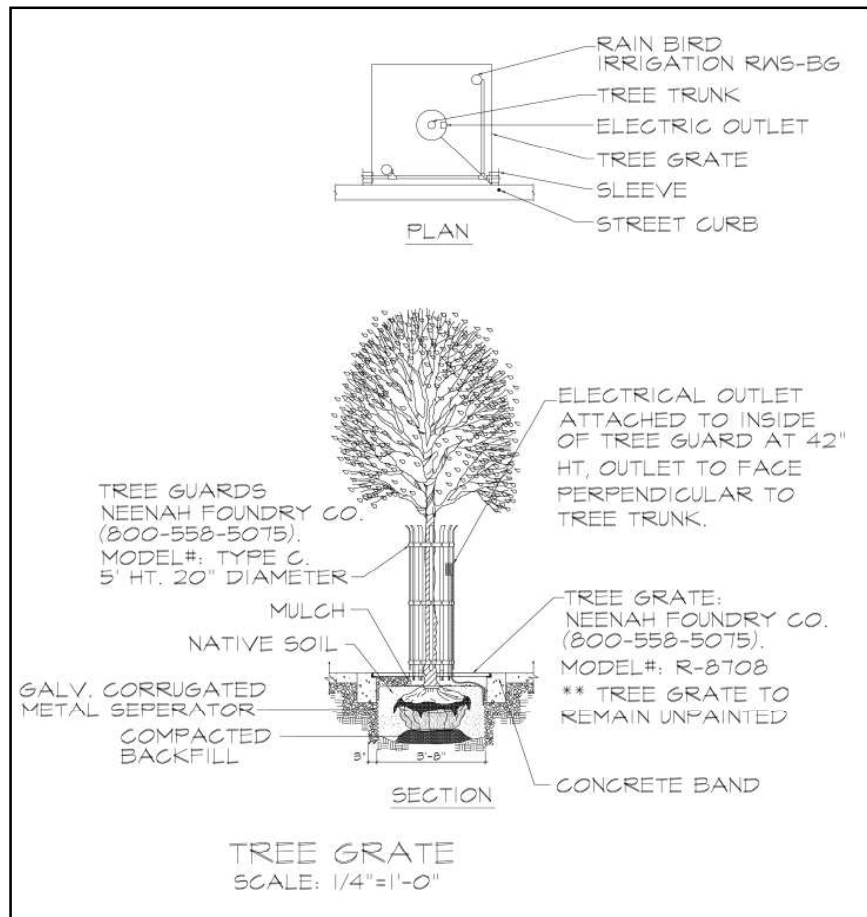
Burr Oak



Patmore Green Ash



Calypso White Ash



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## ACCEPTABLE LANDSCAPE MATERIALS

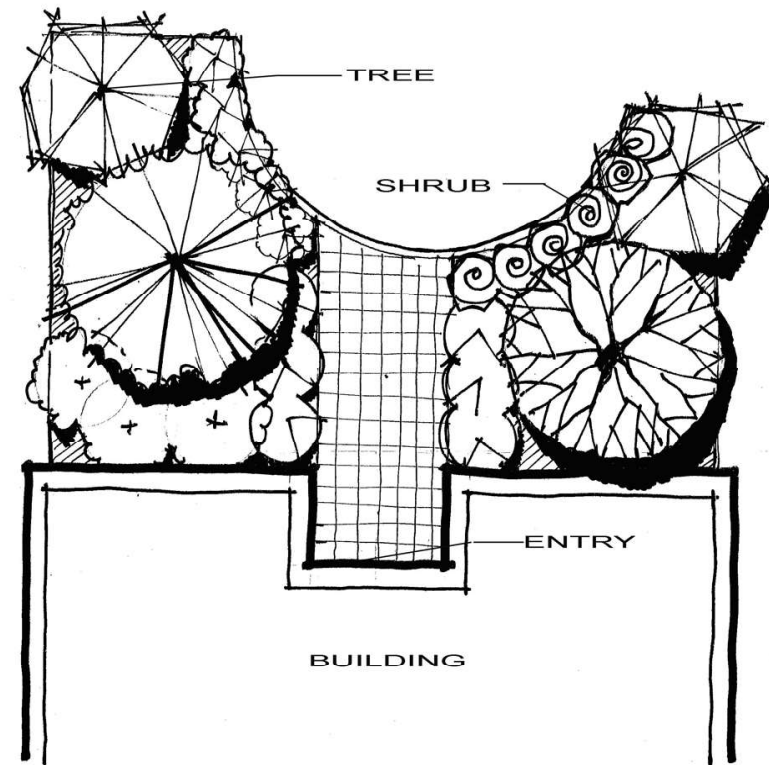
### **STANDARDS: ACCEPTABLE LANDSCAPE MATERIALS**

- material palettes shall be simple and durable in nature.
- Simple, bold forms in planting areas with massing of a few hardy species are preferred to sporadic and singular plantings of marginal species.
- Landscape materials used shall be chosen for their drought tolerance, native and/or naturalized characteristics, and ability to weather the 1B and 2A climate/planting zones associated with the meadow of Big Sky.
- No artificial material shall be used to satisfy the requirements of landscape materials.
- Landscapes shall not include plantings of a noxious weed classification, as determined by the Gallatin County Weed Control District, including but not limited to soil or seed mixtures containing spotted knapweed, leafy spurge, oxeye daisy, houndstongue, yellow toadflax, yellow sweet clover, common tansy and Canada thistle.
- All edging shall be green steel.

### **GUIDELINES: ACCEPTABLE LANDSCAPE MATERIALS**

- The Landscape Architect/Designer should use appropriate plant species, including trees, shrubs, perennials and grasses.
- All plant material shall conform to the American Nursery and Landscape Standard for nursery stock and be free of invasive weeds, be healthy, and disease free.
- Use plant materials in quantities and sizes that will have a meaningful impact in the early years of the project.
- A natural look may be achieved with the use of non-native species that are deemed to be well-suited for the Big Sky area. Ornamental grasses are encouraged to emulate the native Montana prairie grasses.

### **IMAGES: ACCEPTABLE LANDSCAPE MATERIALS**



## PLANT SIZES

### **STANDARDS: PLANT SIZES**

- All plant material shall conform to the following minimum size requirements at the time of installation.
- **Required plant sizes:**
  - Large (30' + mature ht.), long-lived Deciduous Canopy Trees (not Aspen): 2-1/2 inch caliper

*Continued on the next page . . .*

- Large Coniferous Tree: 8 feet tall B & B
- Small (12' - 25' mature ht.) Ornamental Tree: 2-inch caliper
- Small Coniferous Tree: 6 feet tall B & B
- Med-Lg. Deciduous Shrub: 5-gallon container
- Med-Lg. Evergreen Shrub: 5-gallon container
- Perennial: 1 gallon container

## **FOUNDATION PLANTINGS**

### ***STANDARDS: FOUNDATION PLANTINGS***

- Foundation plantings shall be used to screen unsightly foundations and exposed space under porches or in areas where extreme grade changes occur.

### ***GUIDELINES: FOUNDATION PLANTINGS***

- It is highly desirable to accent the architectural qualities of buildings with attractive and well-designed foundation-style plantings.
- Foundation plantings may be mounded and massed to accent the entrances to the buildings in the commercial areas and to create interest at residential properties.

### ***IMAGES: FOUNDATION PLANTINGS***



## **NATIVE LANDSCAPING**

### ***STANDARDS: NATIVE LANDSCAPING***

- The developer shall maintain as much “native” landscape as possible.
- “Native” or naturalized plant materials shall be used in preference to introduced or experimental species.
- Areas replanted with “native” plant materials shall be planted with similar species and similar plant material sizes.

### ***GUIDELINES: NATIVE LANDSCAPING***

- The landscape should revert to “native” plant and construction materials at edges of property, changes in topography, or at outcroppings or edges of ravines. This transition in the landscape, whether with plant materials, rock, or grade change, is essential in creating a more natural environment where the manicured look is not desired.

## **PARKING LOT LANDSCAPING**

### ***STANDARDS: PARKING LOT LANDSCAPING***

- Parking lot landscaping only applies to commercial projects.
- The minimum width and/or length of any parking lot landscaped area shall be eight (8) feet (measured from back of curb). These landscaped areas within the parking lot shall contain at least one (1) tree and shrub and/or groundcover on the ground plain.
- A landscape border at least 10 feet wide shall be provided around the perimeter of all parking areas, except where the parking area adjoins pedestrian circulation (i.e. sidewalk), other parking lots, a building, etc. The landscape border need not be located on the lot, but may be

located in whole or part in an adjacent right-of-way, open space park, adjoining lot of similar land use, etc.

- All commercial parking lots shall contain at least one (1) large canopy tree for every ten (10) parking spaces within that parking lot.
- All commercial parking lots with ten (10) or more parking spaces shall contain no less than 20 square feet of landscape area within the parking lot for every five (5) parking spaces provided on the lot, or as required by the County Parking regulations, whichever is greater.

#### ***GUIDELINES: PARKING LOT LANDSCAPING***

- Planted medians or islands should be automatically irrigated. Irrigation sleeves should be installed prior to paving as needed by the landscape and paving contractor.
- Landscaping near parking lots should not impede snow removal. Use ground cover or trees to minimize conflict with snow removal.
- Definitions of plant material sizes are located in Section IV, section on “Plant Sizes.”
- Encourage installation of metered electric charging stations for electric vehicles. Often these outlets may be installed in/near parking lot landscaping.

### **IRRIGATION**

#### ***STANDARDS: IRRIGATION***

- All landscaped areas, including parking lots, perimeter landscaped treatments, boulevards and right-of-ways, lawn areas, and shrub and flower beds, shall be watered with a permanent, automatic irrigation system installed by a qualified irrigation contractor.

## **Big Sky Town Center Design Standards & Guidelines**

#### ***GUIDELINES: IRRIGATION***

- The landscape should be designed with the assumption that at regular intervals during the summer season, the Big Sky Water and Sewer Department might issue a watering restriction schedule, which may affect irrigation of newly-installed or existing landscapes.
- The use of drought-tolerant or naturalized plant species is highly recommended to reduce dependence on irrigation during the “drought” season in Big Sky.

### **SCREENING & BUFFERING**

#### ***STANDARDS: SCREENING & BUFFERING***

- The project developer/developer shall mitigate conflicts between dissimilar land uses.
- All plant material used for screening or buffering shall be installed according to the minimum sizes stated in the “Acceptable Landscape Materials,” section of this document and shall be planted along the entire perimeter of the parking lot and should have a mature height of six (6) feet, within ten (10) years.
- All commercial lots adjacent to residential areas or parks or open space shall screen that commercial use, especially parking and loading areas, by means of landscape plantings.
- Residential developments adjacent to open space shall screen back yards from trail corridors or hillsides by planting landscape materials that are varied in height and massing in order to provide an attractive transition between the built environment and the natural landscape.

#### ***GUIDELINES: SCREENING & BUFFERING***

- These requirements will ensure that parking lots are screened from adjacent properties and streets.
- Provide dense plantings of evergreens to provide a visual buffer between different uses.

*Continued on the next page . . .*

- Create berming, where applicable, to mitigate unsightly views, lessen noise from streets and drives, channel pedestrian movement, and provide privacy to residential properties.
- Provide dense plant material, hedges and/or fences to provide division between land uses and to provide safety between pedestrian and bicycle access between land uses.

## ***IMAGES: SCREENING & BUFFERING***



LANDSCAPE  
BUFFER

## **MAINTENANCE, COMPLETION & WARRANTY**

### ***STANDARDS: MAINTENANCE COMPLETION & WARRANTY***

- All landscaping shall be completed within 18 months from the date building construction commences, or 24 months after closing on the lot, whichever is sooner.
- The project developer shall choose a landscape contractor that will install all landscape elements and warranty all landscaping for at least one year.
- The project developer/developer shall repair and incur expenses for any damage to utility lines, resulting from their negligence or the negligence of any of their agents, contractors or employees.
- The TCOA will contract landscape maintenance services for developments within the Commercial District.
- Multi-family and single-family project developers shall maintain all landscapes within their property in a healthy and good condition throughout the growing season. The TCAC will maintain adjacent rights-of-ways and street trees.

### ***GUIDELINES: MAINTENANCE COMPLETION & WARRANTY***

- If fencing or netting is required in the fall to protect against animal damage, it should be installed by October 1st and removed by May 1st of every year.

## **CONFLICT WITH UTILITIES**

### ***STANDARDS: CONFLICT WITH UTILITIES***

- All landscape plans shall clearly illustrate all existing and proposed utilities and infrastructure, both in plan and legend.
- All landscaping and irrigation installation shall begin only after a thorough utility location survey is completed.

- All plantings and irrigation within utility easements shall begin only after discussing their locations with the appropriate utility providers.

### **ENTRY CORRIDOR REQUIREMENTS**

#### ***STANDARDS: ENTRY CORRIDOR REQUIREMENTS***

- In addition to the mandatory landscape requirements of this document, all commercial lots located adjacent to Montana Highway 64 shall be landscaped according to the Gallatin Canyon/Big Sky Zoning Regulation.

#### ***GUIDELINES: ENTRY CORRIDOR REQUIREMENTS***

- These regulations are outlined in the Gallatin Canyon/Big Sky Zoning Regulation.

### **OPEN SPACE**

#### ***STANDARDS: OPEN SPACE***

- Public and Common Open Space for the entire Town Center project will be provided by the Master Developer.
- Create places with distinct identities within projects.
- Connect open spaces among large projects by maximizing existing resources or areas, while preserving natural habitat.
- Adjacent project developers shall coordinate, if possible, the planning and design of open spaces that might be shared by both.

#### ***GUIDELINES: OPEN SPACE***

- Project developers may provide additional open space if desired.

- Open space can be active or passive.
- Lawns, gardens, eating courts and decks, porches, balconies and plazas function as usable open space.
- Locate open space in areas that receive sun.
- Undeveloped land that remains after construction of the building and parking is not considered functional open space.

### **HILLSIDE LANDSCAPING**

#### ***STANDARDS: HILLSIDE LANDSCAPING***

- Plant materials shall blend with the hillside and transition back to native species.
- Do not locate activities adjacent to the river hillside areas that would disrupt the character of these areas.
- Maintain a natural edge to the areas adjacent to the river.
- Provide limited points of access to trails or pathways along the river.
- Utilize landscaping features to provide natural buffers or screens between development and the hillside.

#### ***GUIDELINES: HILLSIDE LANDSCAPING***

- Hillside landscaping should be natural and subdued in character.
- Use native or naturalized plant species that require little to no irrigation.
- Preserve existing plant materials by limiting development, compaction and disturbance in these areas.
- Decks, other built structures and activity areas should be set back from the park.
- Provide a buffer zone, or passive space, between activity on private property and the hillside or adjacent open space.

*Continued on the next page . . .*

## **SITE GRADING AND STORMWATER MANAGEMENT**

**Grading is designed for the following functional and aesthetic reasons:**

- a. To ensure adequate surface water runoff away from structures.
- b. To create suitable building conditions for utilities, structures, roads, parking, walkways, and recreation areas.
- c. To create usable and maintainable surface slopes.
- d. To create earthen berms for the control of wind and noise.
- e. To help preserve existing vegetation.
- f. To create desired views and screen negative views.
- g. To create variety and interest within the site.

### **SURFACE DRAINAGE**

#### **STANDARDS: SURFACE DRAINAGE**

- All lots within the Town Center shall discharge excessive stormwater into the streets or ditches.
- All grading and drainage shall provide for the adequate removal of water from around buildings and structures and from walkways and paths.
- Surface drainage shall not be directed onto adjacent properties, whether public or private.
- Ensure that pedestrian areas are free of ice buildup, which could create hazardous situations. This may be accomplished by using the Town Center's standard sidewalk chase detail.
- Drainage systems, swales, or ditches shall transport water and also serve as site amenities. Incorporate rock, native plantings and other

treatments to accomplish this.

- All sidewalk chases shall be approved by the TCOA, and shall be the standard shown in this section and also in the Development Reference Manual.

#### **GUIDELINES: SURFACE DRAINAGE**

- The roadside or roadway drains and ditches have been designed to transport stormwater to the detention ponds at the northeast portion of Town Center.
- Provide for non-erosive drainage at the tops and bottoms of slopes.
- At their terminus, swales should either spread the channelized water to make it sheet drain or empty the water into a ditch, stream, or underground drainage system.

#### **IMAGES: SURFACE DRAINAGE**



**DEVELOP DRAINAGE SYSTEMS AS AMENITIES**



*Continued on the next page . . .*



### **GRADING FOR EMPHASIS**

#### ***STANDARDS: GRADING FOR EMPHASIS***

- Site grading shall emphasize site topography or add interest to an otherwise flat site.
- Minimize cut and fill that may alter the perceived natural topography of a site.
- Orient buildings along existing contours when possible.
- Use earthen berms, rock forms or stone retaining walls to minimize visual impacts of grade change. Use native stone or rock for the construction of these. The height of retaining walls shall not exceed four (4) feet.
- Retaining walls should not exceed three (3) feet in height unless designed and engineered to industry standards for structural integrity.

#### ***GUIDELINES: GRADING FOR EMPHASIS***

- Maximum slopes of 3:1 are preferred for stability, maintenance and usability.
- Grade the tops of banks to be smoothly convex and the toes smoothly concave.
- Grade the slopes to blend in with the surrounding landscape.
- Buildings can be placed in the landscape and the perimeter graded to lessen the impacts of massive buildings. The amount of exposed

structures will be lessened and the building placement will be more sensitively integrated into the landscape.

### **EROSION CONTROL**

#### ***STANDARDS: EROSION CONTROL***

- Reduce runoff during the construction process and afterwards by using site-grading techniques that effectively limit the size, shape, length, and gradient of slopes and channels, thereby reducing the volume and velocity of runoff.

#### ***GUIDELINES: EROSION CONTROL***

- Avoid excessive cuts or fills
- Pay close attention to surface and subsurface drainage characteristics.
- Extending the length of the slope reduces gradients. This uses more land but it reduces the amount of erosion and the potential slumping of hillsides. Used singly or in combination, diversion swales, ditches, and dikes can intercept and divert runoff from the face of a slope.

### **ROAD & BUILDING PLACEMENT**

#### ***STANDARDS: ROAD & BUILDING PLACEMENT***

- Roads and buildings shall be placed on a site with respect to the natural topography.
- All projects shall maintain and reinforce the natural character of the landforms of Town Center.

#### ***GUIDELINES: ROAD & BUILDING PLACEMENT***

- Buildings that cut into slopes are encouraged where they can help

*Continued on the next page . . .*

- minimize the perceived mass and scale.
- Step buildings down at hillside edges in order to minimize visual impacts and reduce the apparent height.
- Avoid placing tall buildings at high points on the site or in other highly visible areas.

## B. BUILDING DESIGN

For examples of building design, reference Section XIII. This section includes sample renderings of commercial and residential buildings that are appropriate for Town Center. The designer should utilize the following standards and guidelines to create a design that reflects the needs of the use(s) associated with the building as well as exhibiting the style and elements which will make it a unique addition to the Town Center.

### FRAMING MATERIALS

#### ***STANDARDS: FRAMING MATERIALS***

- Wood framing and structural members shall be used wherever possible, including engineered wood products or components such as roof or floor trusses.
- Structural steel moment frames and other structural steel components, and structural and non-structural steel studs may only be used if required by the structural engineer and/or applicable building codes.

#### ***GUIDELINES: FRAMING MATERIALS***

- Wood is indigenous to the West, it is a renewable resource, and further incorporates the western feel of the Big Sky area.
- The connections to the exterior wood siding and other wooden structural and non-structural members and architectural treatments on the exterior are improved if the building is framed with wood.

### ENERGY EFFICIENCY

#### ***STANDARDS: ENERGY EFFICIENCY***

- All plumbing fixtures in all buildings shall meet or exceed the EPA's Water Sense requirements, as they may be amended from time to time.
- Buildings shall be designed to be energy efficient and should incorporate industry standard materials to achieve this.

#### ***GUIDELINES: ENERGY EFFICIENCY***

- Buildings should incorporate active and/or passive solar elements.
- Exterior wall insulation should be rated at R-19 minimum.
- LEED certified and green building elements are encouraged.

### BUILDING MASSING

#### ***STANDARDS: BUILDING MASSING***

- Create variations in wall planes to minimize the apparent scale of buildings.
- Minimize the perceived mass of a building or project by developing a facade of smaller buildings rather than one large, monolithic structure.

#### ***GUIDELINES: BUILDING MASSING***

- Variations in the exterior materials of a building surface may help to break up the perceived mass of the building.
- Minimizing the perceived mass may also be accomplished by designing structures with smaller modules and using variations in relief provided by different materials, windows, or details.

*Continued on the next page . . .*

**IMAGES: BUILDING MASSING****BUILDING SETBACKS/BUILDING ENVELOPE****STANDARDS: BUILDING SETBACKS/BUILDING ENVELOPE**

- All buildings shall maintain the setback requirements of Gallatin Canyon/Big Sky Zoning Regulation and these Design Standards and Guidelines.
- All buildings shall be sited within the building envelope or lot as shown on the final plat.

**GUIDELINES: BUILDING SETBACKS/BUILDING ENVELOPE**

- Reference the Gallatin Canyon/Big Sky Zoning Regulation and these Design Standards for setback requirements.

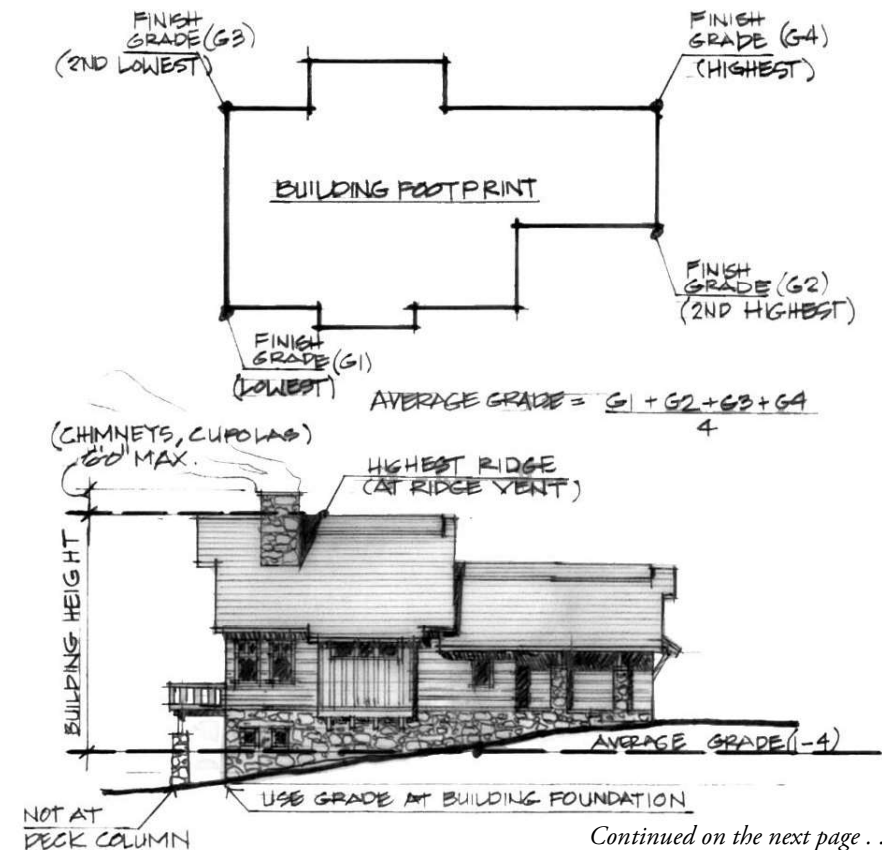
**BUILDING HEIGHT****STANDARDS: BUILDING HEIGHT**

- For that portion of a building or dwelling with parapet walls or mansard roofs, and a flat roof system\*, the building height shall be calculated as shown in Sections 21, 23, and 31 of the Gallatin Canyon/Big Sky Zoning Regulation.
- For buildings with gable or hip roofs, the illustration below shall be used for calculating the maximum building height.
- Roof-mounted mechanical and/or electrical equipment shall be shielded from view, and all extensions above the maximum building height shall be approved by the TCOA.

\* Flat Roof System: Shall be defined as a roof having a slope from 0:12 to 1:12.

**Big Sky Town Center Design Standards & Guidelines****GUIDELINES: BUILDING HEIGHT**

- Maintain low-scale buildings and explore opportunities for multi-story buildings with height variations.
- All extensions above the maximum building height should be subordinate in design to the architectural features of the building or dwelling, unless otherwise approved by the TCOA.
- Buildings shall be placed on the site to preserve and maximize views to the surrounding mountains and to Lone Peak.

**IMAGES: BUILDING HEIGHT**

Continued on the next page . . .



PRESERVE AND MAXIMIZE VIEWS

### ACCESS & ENTRANCES

#### ***STANDARDS: ACCESS & ENTRANCES***

- Entrances shall be readily visible from the street and accessible from the sidewalks, especially on commercial structures.
- At least one entrance to a commercial building shall meet ADA accessibility requirements.
- The rear entrance to commercial buildings shall be subordinate to the front entrance.

#### ***GUIDELINES: ACCESS & ENTRANCES***

- Commercial building entrances should be covered or recessed.

#### ***IMAGES: ACCESS & ENTRANCES***



### ROOF DESIGN

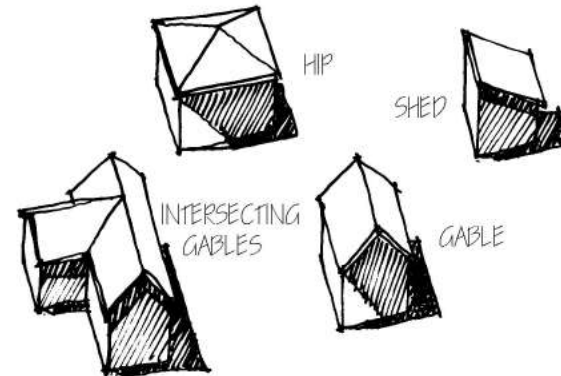
#### ***STANDARDS: ROOF DESIGN***

- Roof and canopy structures shall be designed to meet required State building code ground snow load plus drift loading.
- Roof-mounted satellite dishes and skylights shall be integrated into the overall roof design, shall be hidden from view, and shall be submitted at the Phase B DLUP Process.
- Roof and canopy designs shall prevent snow and ice from shedding directly onto a pedestrian walkway or access.

#### ***GUIDELINES: ROOF DESIGN***

- Snow shedding should be controlled and measures shall be taken to prevent snow and ice from damaging property or injuring people.
- Roofs should compliment and respond to the heavy snow environment.
- Low slope or flat roofs are appropriate and are strongly encouraged on commercial buildings, and may be required on some commercial buildings.
- Pitched roofs, such as gable, hip and shed roofs, should overhang at least two (2) feet over the outside wall.

#### ***IMAGES: ROOF DESIGN***



## CANOPIES & AWNINGS

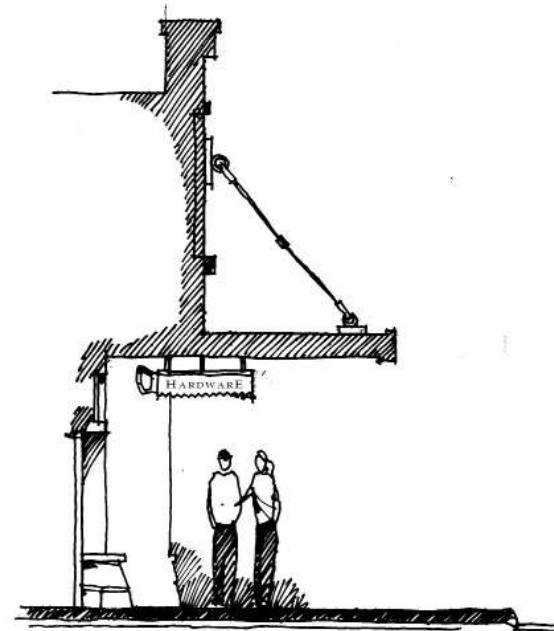
### ***STANDARDS: CANOPIES & AWNINGS***

- Canopies and awnings shall be designed and constructed to be consistent and complimentary with the architecture of the building.

### ***GUIDELINES: CANOPIES & AWNINGS***

- The color of awnings used on residential and commercial buildings should be complimentary to the color scheme of the entire structure.
- Awnings should be constructed of durable materials.
- Canopies and awnings shall be designed taking into consideration industry or local standards in order to support snow loads common to the Big Sky area.

### ***IMAGES: CANOPIES & AWNINGS***



## ARCHITECTURAL FEATURES

### ***STANDARDS: ARCHITECTURAL FEATURES***

- Exposed structural expression of wood framing members, timbers and steel detailed elements supporting the roofs, sheds, and balconies shall be a feature of all commercial building designs.
- The architectural expression is designed to draw upon the regional and local heritage and to be rooted in historical precedents, while looking forward in its detailing. With building materials such as heavy cut timbers, dry-stack real stone, cedar lap and other wood siding, and a unique mix of flat and pitched roofs, the Town Center will be a unique pedestrian-friendly village in Big Sky – a feel that is refined Western with a hint of the Old West.
- The application of stone masonry as an accent building material, particularly on the ground floor level, is required on commercial buildings. Use of stone with the application of a “battered” large-

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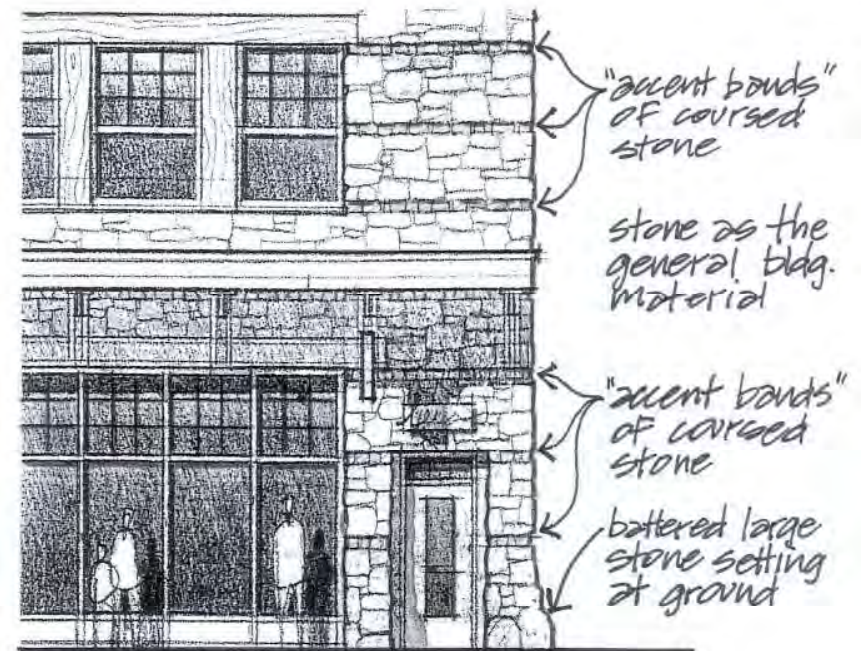
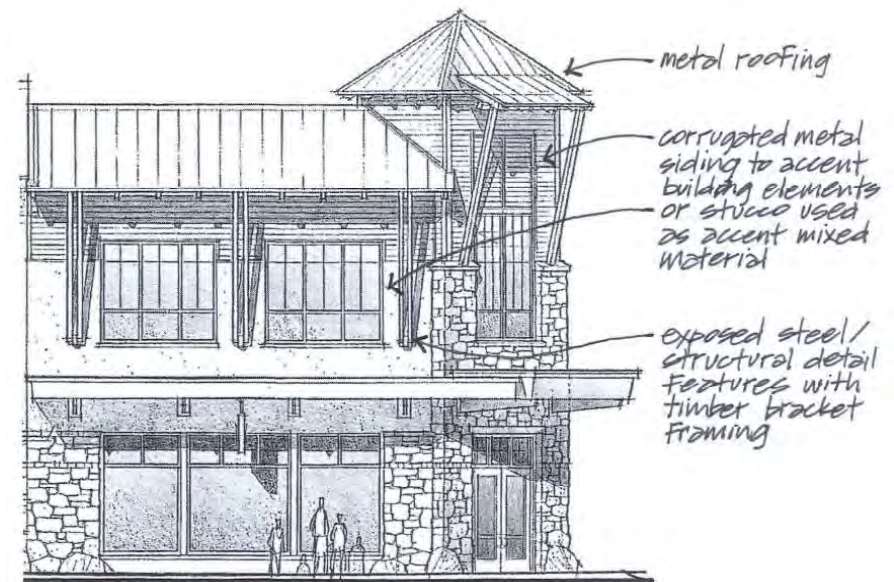
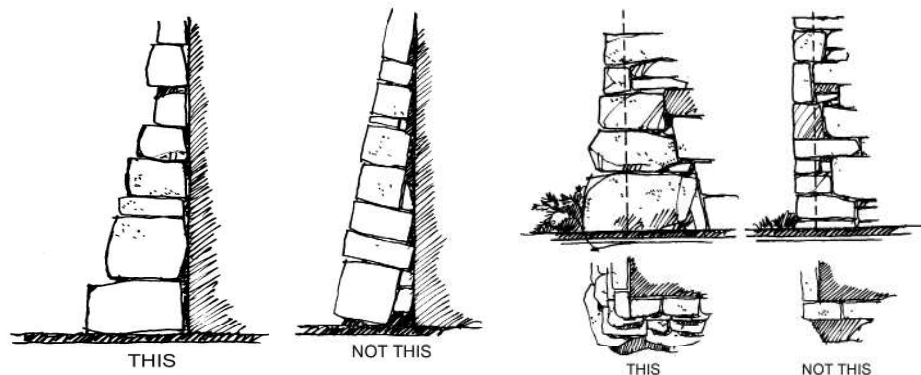
stone setting at the wall base is encouraged, and may be required by the TCOA in certain applications (i.e. post or column support bases).

- Building components shall be oversized in scale.

## ***GUIDELINES: ARCHITECTURAL FEATURES***

- New designs that draw upon fundamental mountain architecture styles are encouraged.
- New, creative interpretations of architectural details that express the spirit of simplicity are encouraged.
- The layers and patterns of materials, details and structural members should reinforce the Town Center's "Western Mountain Architectural" theme.
- The application of steel and metal accents, particularly as horizontal or vertical accent elements, is encouraged (see following page).
- In residential areas, application of stone masonry as an accent building material is strongly encouraged. Use of stone with the application of a "battered" large-stone setting at the wall base is also strongly encouraged.

## ***IMAGES: ARCHITECTURAL FEATURES***



*Continued on the next page . . .*



## **EXTERIOR MATERIALS**

### ***STANDARDS: EXTERIOR MATERIALS***

- Refer to Table 2 in this section for information regarding commercial building materials.
- Refer to Table 3, in this section for information regarding residential building materials.

### ***GUIDELINES: EXTERIOR MATERIALS***

- Exterior building materials should accentuate interesting building forms and elements.
- Natural and durable building materials are required for commercial and residential exteriors.
- Log plank siding with chinked joints and traditional log siding is permitted, however it should be used with restraint in commercial buildings.

- Premier quality materials should be used to provide a strong sense of lasting value.
- Use materials that reflect a relationship between the built and natural environment of this unique location.
- The use of indigenous materials is strongly recommended.
- A variety of colors and textures is strongly encouraged to enhance visual interest.

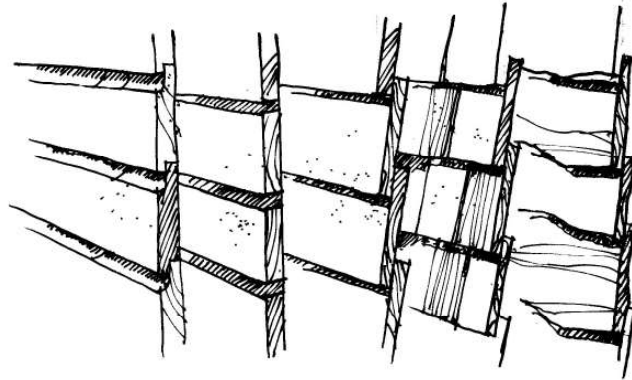
### ***IMAGES: EXTERIOR MATERIALS***



Kootenai Ledge Stone, or similar stone type and color



Prairie Fieldstone, or similar stone type and color



## COLORS

### **STANDARDS: COLORS**

- Materials and colors shall be harmonious with the surrounding site.
- Exterior building colors shall emphasize earth tones fitting with the natural, surrounding environment.

### **GUIDELINES: COLORS**

- Trim and other accentuating details of the building may be finished in brighter or contrasting color schemes to add interest.
- Color use may vary between residential units or storefronts, between floors, between building elements or in combination.
- Color palettes should remain consistent within a development, but use should be varied in order to differentiate neighborhoods and buildings.

## DECKS, BALCONIES & TERRACES

### **STANDARDS: DECKS, BALCONIES & TERRACES**

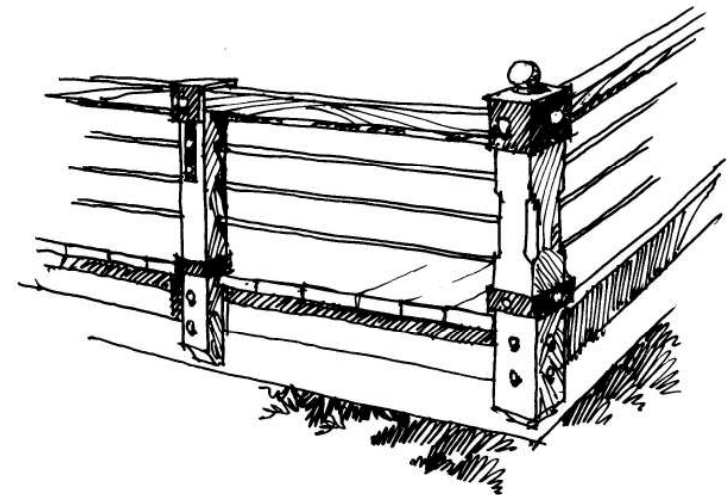
- Decks and balconies shall be designed to handle snow and drift loads as well as possible snow shedding from roof overhangs above.

- On all patios, positive drainage away from the building shall be maintained.

### **GUIDELINES: DECKS, BALCONIES & TERRACES**

- Decks, balconies and terraces are encouraged and shall be integrated into the overall building design.
- Terraces can provide a natural transition between the building and the site.
- Examples of railing treatments for decks, balconies and terraces are shown below. Open railings are strongly encouraged.

### **IMAGES: DECKS, BALCONIES & TERRACES**



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## EXTERIOR WALLS

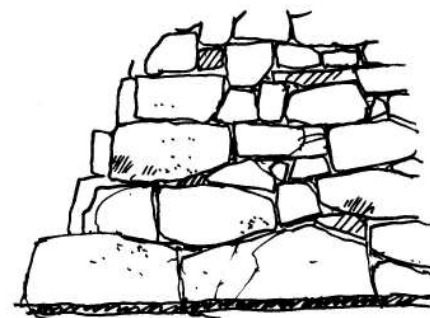
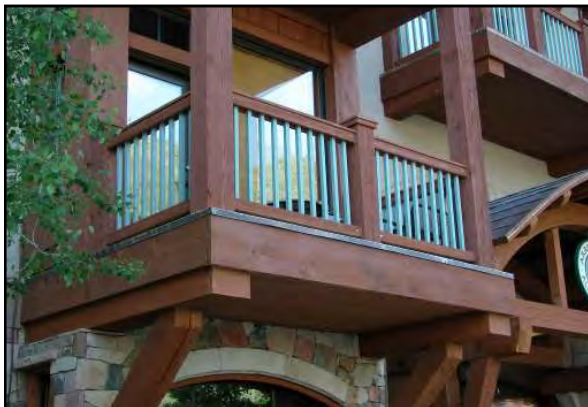
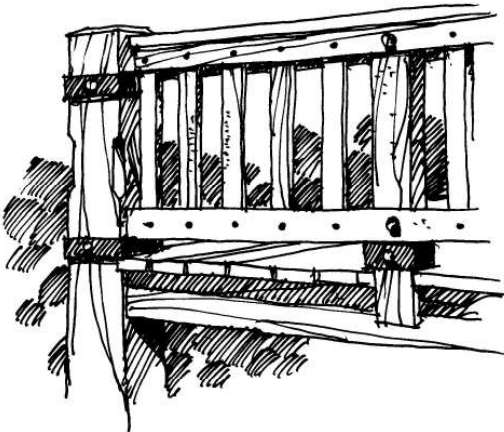
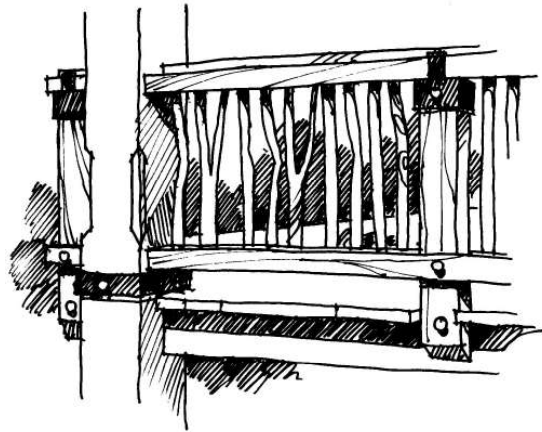
### ***STANDARDS: EXTERIOR WALLS***

- Exterior wall surfaces shall not exceed 40 feet without a change in wall form or direction.

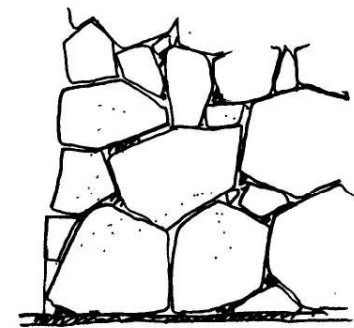
### ***GUIDELINES: EXTERIOR WALLS***

- Varied façade forms and upper level balconies are encouraged.
- Variations of building materials and colors should be used to accentuate wall design forms and features.
- Walls should be articulated to avoid domination by large, undifferentiated planes.
- Dry stack or mortared stone walls should have horizontal relationships between layers of rock.

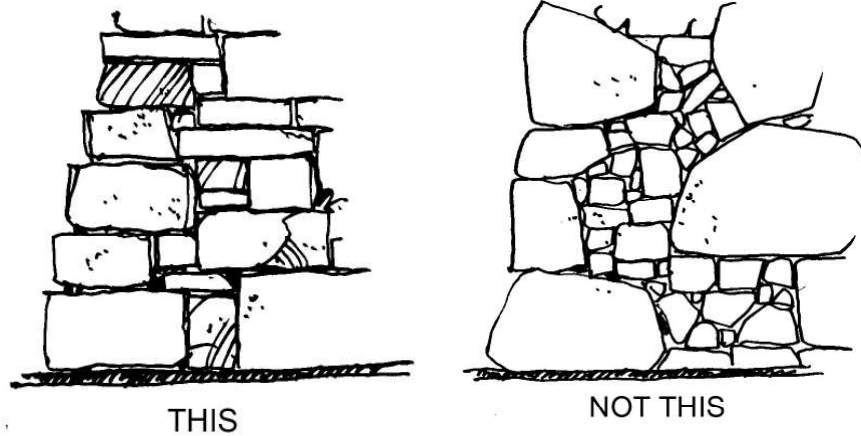
### ***IMAGES: EXTERIOR WALLS***



THIS



NOT THIS



## EXTERIOR WINDOWS & DOORS

### **STANDARDS: EXTERIOR WINDOWS & DOORS**

- To ensure long lasting and quality products, all windows and entry doors in the Town Center will be manufactured by Eagle by Andersen® or Unilux® AG, in special circumstances Hurd® windows and doors can be considered. These products consist of wood frame construction with an exterior metal clad finish. The manufacturers are trusted vendors with an absolute proven history of quality and service. The benefits of these aluminum-clad wood windows and doors are
  - Superior thermal and energy efficiency
  - Superior warranty on paint and glass
  - Beauty and warmth of wood, architectural detailing
  - Superior design flexibility with a large number of color choices, various wood species, and hundreds of divided light options and styles
  - Windows installed prior to exterior façade, resulting in tight perimeter joints

- Good durability against Big Sky's occasional hail storm
- Interior exposed wood
- Exterior exposed metal finish with anodized options
- Extruded aluminum sash and frame
- Hallmark certified and/or Energy Star Approved (windows only)
- Exterior paint resists cracking, checking, peeling, blistering, flaking, or loss of cohesion
- Simulated divided lights shall be constructed with exterior and interior grilles, and shall contain a spacer bar between the glass panes
- Wood frame cased in laminated veneer lumber or FSC harvested wood components

- As an alternative to punched opening windows and doors, Unilux® AG offers a timber-framed curtain wall system called FineLine with direct-set operable units having narrow profiles, which maximizes retail display area & daylight. This type of system is ideal for ground floor retail units and multi-level glass wall applications with exceptionally large glass sizes. The thermal superiority in the Unilux® AG system is backed by NFRC tested U-values of 0.15 in punched openings and 0.16 in FineLine curtain walls.

### *COMMERCIAL STOREFRONT WINDOW SYSTEMS:*

- In construction applications that call for aluminum storefront windows, the required product in Town Center is US Aluminum window systems. US Aluminum is the nation's leading manufacturer of aluminum windows for commercial use. They are owned by the parent company of CR Laurence®. US Aluminum will meet all architectural needs in fulfilling design aesthetics and special system requirements of operable units and larger glass sizes.

***GUIDELINES: EXTERIOR WINDOWS & DOORS***

- Standard size doors and windows are strongly encouraged to allow easy replacement in the future.
- An anodized finish is recommended because of its superior durability and color retention.
- Where practical, locate entrances to avoid drifting snow and to let the sun assist with snow removal.
- Entrances should provide appropriate cover from rain and snow.
- Porches and balconies are encouraged. Open or partially-open railings are strongly encouraged, and may be required by the TCOA.

**VIEWS*****STANDARDS: VIEWS***

- Buildings shall be placed on the site to preserve and maximize views to the surrounding mountains and to Lone Peak.

***GUIDELINES: VIEWS***

- Enhance view opportunities by placing open space or pedestrian plazas in areas with good views.

***IMAGES: VIEWS***

PRESERVE AND MAXIMIZE VIEWS

**ALTERATIONS & ADDITIONS*****STANDARDS: ALTERATIONS & ADDITIONS***

- New construction shall appear similar in mass, scale and materials to existing structures on the site.
- New construction shall exhibit similar design and materials as the adjoining or existing buildings on-site.

***GUIDELINES: ALTERATIONS & ADDITIONS***

- Normal repair and maintenance is not considered to be an alteration or addition.

**TABLE 2: COMMERCIAL EXTERIOR BUILDING MATERIALS FOR THE BIG SKY TOWN CENTER**

	3*		4*														5*								
	Concrete		Masonry														Metal								
	PLAIN	TEXTURED	BRICK	GLASS BLOCK	MARBLE	TRAVERTINE	SANDSTONE	LIMESTONE	GRANITE	SLATE	RECTANGULAR FIELDSTONE	RIVER STONE	CAST STONE	PLAIN CONCRETE BLOCK	TEXTURED CONCRETE BLOCK	FAUX STONE (CULTURED)	TERRA COTTA	SIDING	CORRUGATED PANELS	STANDING SEAM	SHINGLES	FLAT PANELS	FORMED PANELS	CAST	CLADDING FORMED
Wall Surfaces & Infill Panels	X	X	L	X	L	L	E	E	E	E	E	L	L	X	X	X	X	L	L	L	L	L	X	X	X
Lintels, Headers, Sills, Columns, Pilasters, Brackets, Dentils	L	L	L	X	L	L	E	E	E	L	E	L	E	X	X	X	X	na	na	na	na	na	na	E	E
Door, Window Sash, Door and Window Frames	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	E	
Glazing	na	na	na	L	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	
Roofs	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	E	E	L	L	L	na	na

**LEGEND**

E	Encouraged
L	Limited Use
X	Prohibited
na	Not Applicable

\* Numbers based on 16 Division Industry Standard

**TABLE 2: CONTINUED - COMMERCIAL EXTERIOR BUILDING MATERIALS FOR THE BIG SKY TOWN CENTER**

	6A*						6B*				7*				8*				9*		
	WOOD						PLASTIC				MOISTURE PROTECTION				GLASS				FINISHES		
	SIDING	SHINGLES (MACHINED)	SHAKES (ROUGH)	PLYWOOD	COMPOSITION	SOLID /TIMBER	SIDING	PANELS	SOLID FORMED	CLADDING	EIFS	CLAY ROOF TILES	ASPHALT SHINGLES	CONCRETE SHINGLES	BLOCKS	CLEAR	TINTED	OPAQUE	STUCCO (WITH DURABLE ELASTOMERIC FINISH)	CERAMIC TILE	PAINT
Wall Surfaces & Infill Panels	E	L	L	X	X	L	X	X	X	X	X	na	X	na	X	na	na	na	L	X	E
Lintels, Headers, Sills, Columns, Pilasters, Brackets, Dentils	na	na	na	na	X	E	na	na	X	na	X	na	na	na	na	na	na	na	X	X	E
Door, Window Sash, Door and Window Frames	na	na	na	na	X	E	na	na	L	L	na	na	na	na	na	na	na	na	na	na	L
Glazing	na	na	na	na	na	na	na	X	na	na	na	na	na	na	L	E	E	L	na	na	na
Roofs	na	E	E	na	na	na	na	na	na	na	na	L	E	L	na	na	na	na	na	na	na

**LEGEND**

E	Encouraged
L	Limited Use
X	Prohibited
na	Not Applicable

\* Numbers based on 16 Division Industry Standard

**TABLE 3: RESIDENTIAL EXTERIOR BUILDING MATERIALS FOR THE BIG SKY TOWN CENTER**

	3*		4*														5*								
	Concrete		Masonry														Metal								
	PLAIN	TEXTURED	BRICK	GLASS BLOCK	MARBLE	TRAVERTINE	SANDSTONE	LIMESTONE	GRANITE	SLATE	RECTANGULAR FIELDSTONE	RIVER STONE	CAST STONE	PLAIN CONCRETE BLOCK	TEXTURED CONCRETE BLOCK	FAUX STONE (CULTURED)	TERRA COTTA	SIDING	CORRUGATED PANELS	STANDING SEAM	SHINGLES	FLAT PANELS	FORMED PANELS	CAST	CLADDING FORMED
Wall Surfaces & Infill Panels	X	X	X	X	X	L	E	L	L	E	E	E	L	X	X	X	L	X	L	X	L	L	X	na	L
Lintels, Headers, Sills, Columns, Pilasters, Brackets, Dentils	L	L	X	na	X	L	E	E	E	E	L	X	L	X	X	X	L	na	na	na	na	na	na	L	L
Door, Window Sash, Door and Window Frames	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	E
Glazing	na	na	na	X	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na
Roofs	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	na	L	L	E	L	L	na	na

LEGEND	
E	Encouraged
L	Limited Use
X	Prohibited
na	Not Applicable
Note (1): Second Floor Only	

\* Numbers based on 16 Division Industry Standard

**TABLE 3: CONTINUED - RESIDENTIAL EXTERIOR BUILDING MATERIALS FOR THE BIG SKY TOWN CENTER**

	6A*						6B*				7*				8*				9*		
	WOOD						PLASTIC				MOISTURE PROTECTION				GLASS				FINISHES		
	SIDING	SHINGLES (MACHINED)	SHAKES (ROUGH)	PLYWOOD	COMPOSITION	SOLID / TIMBER	SIDING	PANELS	SOLID FORMED	CLADDING	EIFS	CLAY ROOF TILES	ASPHALT SHINGLES	CONCRETE SHINGLES	BLOCKS	CLEAR	TINTED	OPAQUE	STUCCO (WITH DURABLE ELASTOMERIC FINISH)	CERAMIC TILE	PAINT
Wall Surfaces & Infill Panels	E	X	E	X	X	L	X	X	X	X	L (1)	na	E	L	X	na	na	na	L	X	E
Lintels, Headers, Sills, Columns, Pilasters, Brackets, Dentils	na	na	na	na	L	E	na	na	L	na	na	na	na	na	na	na	na	na	X	L	L
Door, Window Sash, Door and Window Frames	na	na	na	na	X	E	na	na	L	L	na	na	na	na	na	na	na	na	na	na	L
Glazing	na	na	na	na	na	na	na	L	na	na	na	na	na	na	X	E	E	L	na	na	na
Roofs	na	E	E	na	na	na	na	na	na	na	na	L	E	X	na	na	na	na	na	na	na

**LEGEND**

E	Encouraged
L	Limited Use
X	Prohibited
na	Not Applicable
Note (1): Second Floor Only	

\* Numbers based on 16 Division Industry Standard

## V. COMMERCIAL CORE DESIGN STANDARDS AND GUIDELINES

The Commercial Core is the “downtown heart” of the Town Center. It is focused on Town Center Avenue, extending east and west from the main Town Center Plaza.

The Town Center will be a high quality, unified environment evoking a unique, mountain community image. “Western Mountain Architecture” is the theme guiding this vision of regional history integrated into the modern era, and making the Town Center a focal point in the Big Sky area for residents and visitors alike. The architectural expression is designed to draw upon the regional and local heritage and to be rooted in historical precedents, while looking forward in its detailing. With building materials such as heavy cut timbers, dry-stack real stone, cedar lap and other wood siding, and a unique mix of flat and pitched roofs, the Town Center will be a unique pedestrian-friendly village in Big Sky – a feel that is refined Western with a hint of the Old West. Town Center Avenue, the project’s Main Street, will be lined with storefront, boutique shops and buildings that have many neo-traditional or New Urbanist elements, but with a distinctive Western twist. An ‘outdoor room’ will be created along the storefronts with the careful placement of street trees and the use of suspended flat canopy roofs above the storefront facades. This sense of enclosure is comfortable and inviting to pedestrians, and provides shelter from the elements, encouraging longer strolls from shop to boutique. Progressive design elements may be used to emphasize or highlight important building forms and details. The ‘kit of parts’ for Commercial Core buildings include: Flat roofs, varied parapet height and styles, varied and detailed cornice lines, open balconies, storefront facades, large display windows on the ground floor, varied canopy heights and types, mostly traditional fenestration, timber knee braces and detailing, stone columns and accents, recessed entries, etc.

Figure 2 on the following page, illustrates the Commercial Core area, as it relates to surrounding properties and amenities within the Town Center. Section XIII should be studied to learn more about the design intent of the Town Center.

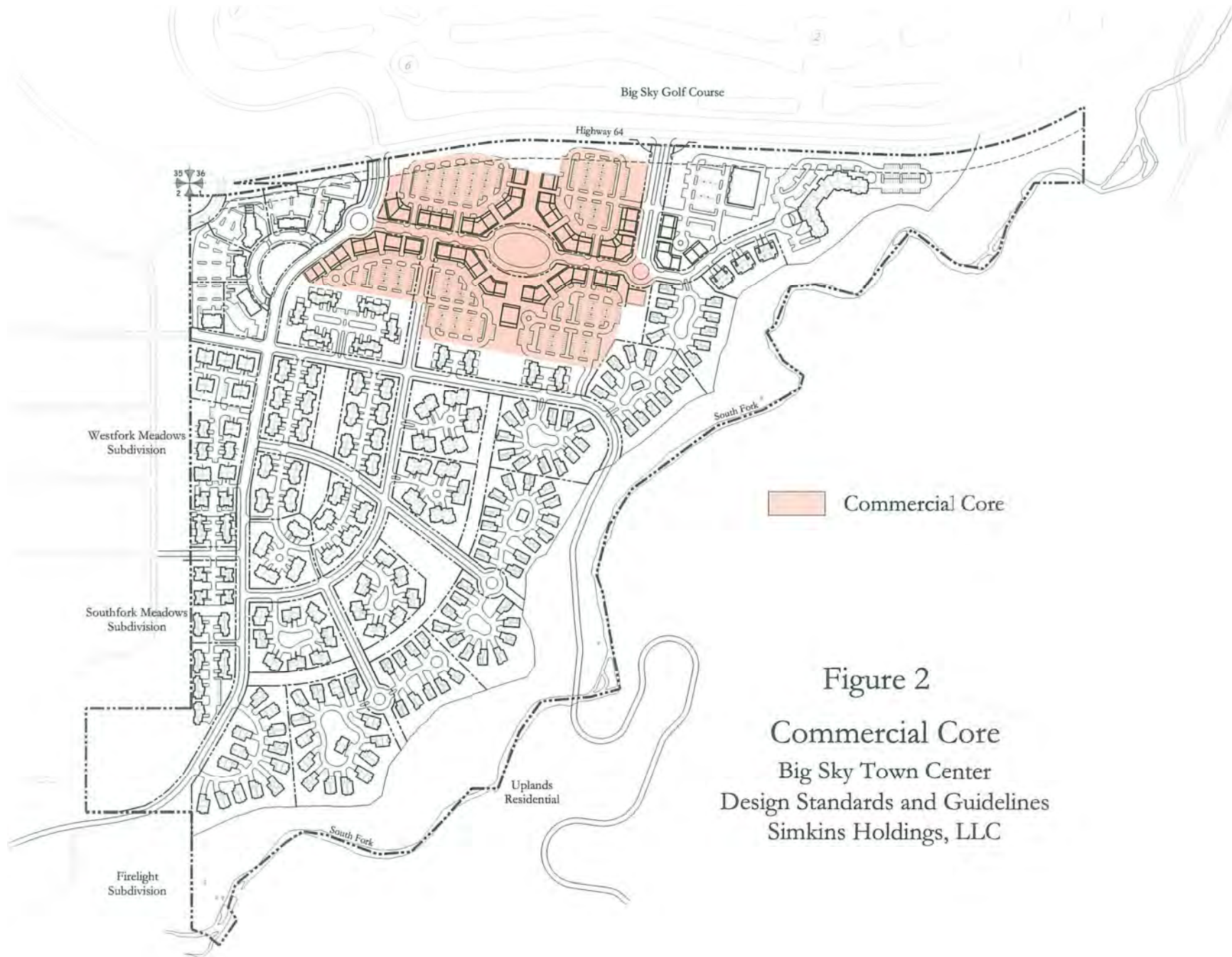
The Commercial Core goals will be achieved through the unique and individual designs of each building while creatively integrating a collection of common architectural features and elements. This will ensure quality and consistency within the Community Core that translates into a rich, identifiable community.

It will be a diverse, mixed-use environment with food and beverage, entertainment, retail, and residential components that share a common design character worthy of a community core. Retail shops and food and beverage uses are required for a minimum of 60% of the footprint area on street level or ground floors of buildings within the Commercial Core.

The guidelines and standards set forth in this subsection will govern the review and approval by the TCAC. Any drawings accompanying guidelines are illustrative only and are intended to provide direction and interpretation of the related standard or guideline.

In addition to the standards and guidelines described here, the following documents apply to all developments in the Commercial Core areas:

1. Gallatin Canyon/Big Sky Zoning Regulation
2. Big Sky Town Center Declaration of Covenants, Conditions and Restrictions
3. Big Sky Town Center Master Signage Plan
4. Big Sky Town Center Parking Regulation, Management Plan and Ordinance



## A. SITE DESIGN - COMMERCIAL CORE

### SETBACKS / BUILDING ENVELOPE

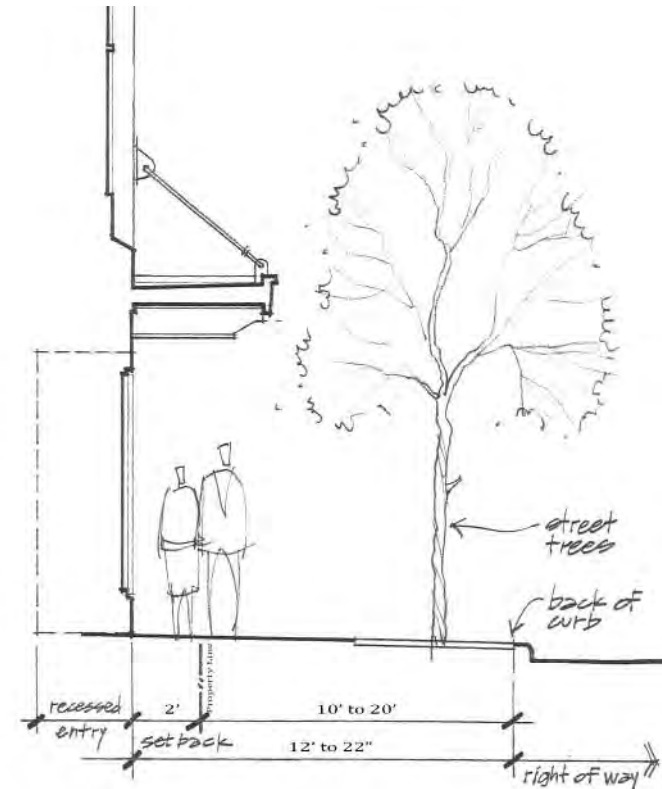
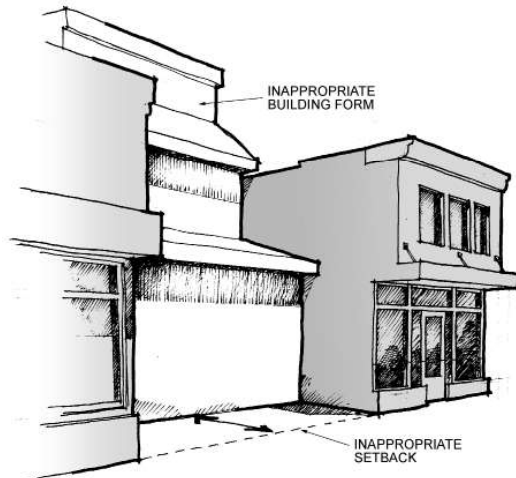
#### **STANDARDS: SETBACKS / BUILDING ENVELOPE**

- Structures shall respect the minimum setbacks, as defined in the Gallatin Canyon/Big Sky Zoning Regulation and these Design Standards and Guidelines.
- All structures situated with frontage along Town Center Avenue shall have an additional two (2) feet of front yard setback to accommodate the streetscape elements.
- Parking is not permitted within the front yard of any Commercial Core lot.

#### **GUIDELINES: SETBACKS / BUILDING ENVELOPE**

- These setbacks are intended to create a continuous street-front façade along the streetscape.

#### **IMAGES: SETBACKS / BUILDING ENVELOPE**



### OUTDOOR SEATING & BIKE RACKS

#### **STANDARDS: OUTDOOR SEATING & BIKE RACKS**

- All benches within the Town Center commercial district shall be installed by the project developer and chosen from pre-established designs, as provided by the TCAC. Examples of these benches are provided in Section IV of this document.
- See Section IV.A.2 for additional standards for site furnishings, bike racks, animal-proof trash containers, etc.

*Continued on the next page . . .*

***GUIDELINES: OUTDOOR SEATING & BIKE RACKS***

- Project developers are encouraged to provide additional seating near entrances and eating areas.
- Mini parks are encouraged to enhance the pedestrian experience.
- Mini parks may contain unique site furniture, paving surfaces and landscape plantings to encourage their use.
- Mini parks should be in areas that receive sun.

**SIGNS*****STANDARDS: SIGNS***

- All signs within the Town Center shall be designed and installed according to the Master Signage Plan.
- All buildings and/or units shall have its street number (address) of at least 4" in height attached to the building and visible from the street. See additional regulations in the Master Signage Plan.
- All commercial buildings shall have a building name affixed or incorporated into the front façade. This building name should reflect the business name or other approved name, Roman numeral date, etc. The TCOA is always available for guidance on this.

***GUIDELINES: SIGNS***

- Reference the Master Signage Plan, as provided in the Development Reference Manual.
- Signs will assist people in locating buildings and amenities within the Town Center.

**TRANSPORTATION & CIRCULATION*****STANDARDS: TRANSPORTATION & CIRCULATION***

- All parking lots or parking areas shall be designed and installed according to the Gallatin Canyon/Big Sky Zoning Regulation, and the Town Center Parking Regulation, Management Plan, and Ordinance.
- The ground floor level, or street level, of all buildings shall be developed to encourage pedestrian activity and interaction.
- All buildings situated with frontage along Town Center Avenue, or public or common open space, shall install and maintain heated sidewalks to assist in snowmelt and to invite pedestrian activity in the winter.

***GUIDELINES: TRANSPORTATION & CIRCULATION***

- These requirements are available on-line or at the Gallatin County Planning Department.
- Provide clear pathways between and around buildings, uninterrupted by parking areas and roads, to encourage pedestrian activity.
- Provide expressed entries to community trail networks with signs and clear connections to all trails.

**GRADING & DRAINAGE*****STANDARDS: GRADING & DRAINAGE***

- All lots within the Town Center shall discharge excessive stormwater into the streets or roadways.
- Surface drainage shall not be directed onto adjacent properties.
- See section VI Surface Drainage for Standard Sidewalk Chase Detail.

***GUIDELINES: GRADING & DRAINAGE***

- The drains and ditches have been designed to transport stormwater to the detention ponds at the northeast portion of Town Center.

## **FENCES**

### ***STANDARDS: FENCES***

- Commercial Core areas may only install fences when used to screen mechanical equipment.
- The maximum height of fences used to screen mechanical equipment shall be five (5) feet (See Section IV.A.2)

### ***GUIDELINES: FENCES***

- Where fencing is attached to the building or used for screening adjacent to the building, fencing materials and design shall use the same architectural expression as the main structure.

## **UTILITIES**

### ***STANDARDS: UTILITIES***

- All utilities shall be located underground or behind screened areas (landscaping may be used for screening).
- All propane tanks shall be located underground, and shall be accessible for refueling and maintenance.

## **SERVICE AREAS**

### ***STANDARDS: SERVICE AREAS***

- Loading docks and service entrances shall be located within rear or side yards only, and shall be appropriately screened from view.

### ***GUIDELINES: SERVICE AREAS***

- Loading docks and service entrances should be screened from adjacent residential land uses and may be screened using landscaping or opaque fencing or walls, or a combination of the two.

## **OUTDOOR STORAGE**

### ***STANDARDS: OUTDOOR STORAGE***

- Storage shall be contained within buildings.
- Outdoor storage, whether uncovered, in sheds or other ancillary structures, is prohibited.

## **B. LANDSCAPE DESIGN - COMMERCIAL CORE**

## **PARKING LOT LANDSCAPING**

### ***STANDARDS: PARKING LOT LANDSCAPING***

- The parking lots for all Commercial Core areas shall be landscaped according to Section IV of this document.

## **APPROPRIATE PLANTINGS**

### ***STANDARDS: APPROPRIATE PLANTINGS***

- Lots within the Commercial Core will not be required to install landscaping as specified in Section IV of this document.
- All Commercial buildings shall have seasonal plantings, pots or hanging baskets provided near storefronts.

*Continued on the next page . . .*

***GUIDELINES: APPROPRIATE PLANTINGS***

- Choose hearty and drought-tolerant annuals or perennials for seasonal plantings.
- These seasonal plantings will bring color and variety to the streetscape and create pleasant pedestrian experiences.

***IMAGES: APPROPRIATE PLANTINGS***

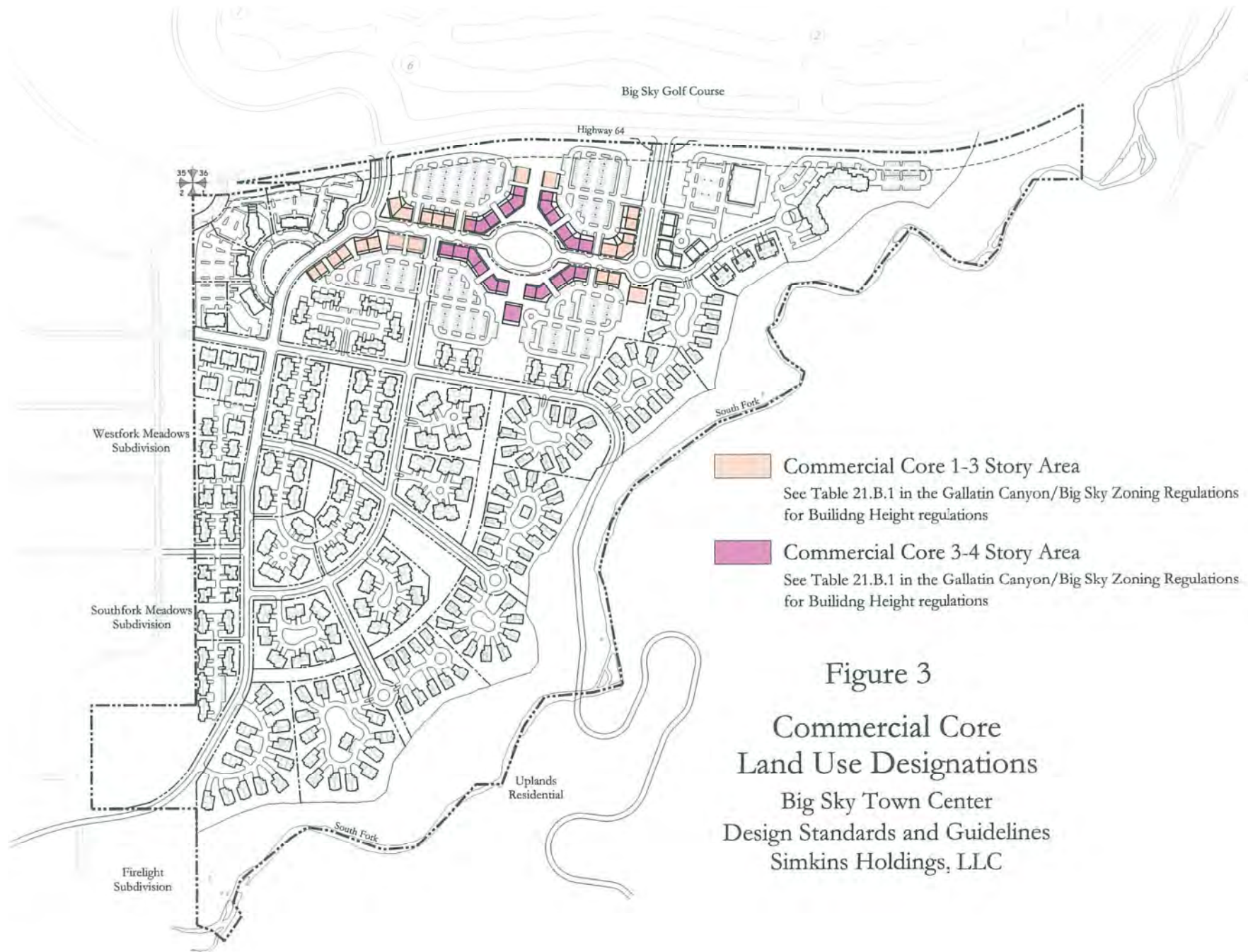


Figure 3  
Commercial Core  
Land Use Designations  
Big Sky Town Center  
Design Standards and Guidelines  
Simkins Holdings, LLC

## C. BUILDING DESIGN - COMMERCIAL CORE

### ENERGY EFFICIENCY

#### **STANDARDS: ENERGY EFFICIENCY**

- All plumbing fixtures in all buildings shall meet or exceed the EPA's Water Sense requirements, as they may be amended from time to time.
- Buildings shall be designed to be energy efficient and should incorporate the most current building products available to achieve this.

#### **GUIDELINES: ENERGY EFFICIENCY**

- Buildings are encouraged to incorporate active and/or passive solar elements.
- Alternative energy sources such as geothermal and solar are encouraged and will be supported by the TCOA.
- The building envelope design shall meet or exceed the Montana Energy Code (1989 ASHRAE 90.1), or current applicable code.

### BUILDING HEIGHT

#### **STANDARDS: BUILDING HEIGHT**

- For allowable heights within the Commercial Core, See the Figure 3 on the previous page, and Sections 22, 31, and 34 of the Gallatin Canyon/Big Sky Zoning Regulation.
- For that portion of a building with parapet walls or mansard roofs, and a flat roof system\*, the building height shall be calculated as described in Section 22 of the Gallatin Canyon/Big Sky Zoning Regulation.
- For buildings with gable or hip roofs, the illustration and text in section IV shall be used to calculate building height.
- See Section 22 of the Gallatin Canyon Big Sky Zoning Regulations for maximum building heights.

## Big Sky Town Center Design Standards & Guidelines

- A complete third or fourth story level shall be developed on all street front elevations in the main plaza area, with the top story being not less than 75% of the main floor footprint area. Partial balcony features or roof deck areas are encouraged, but not included as part of this floor area requirement.
- A complete second story level is required on all second story street front elevations.
- The drift load design of the roof structure shall be based on the highest possible building built, or to be built, on the adjacent lot(s).
- Roof-mounted mechanical and/or electrical equipment shall be shielded from view, and all extensions above the maximum building height shall be approved by the TCOA.
  - \* Flat Roof System: Shall be defined as a roof having a slope from 0:12 to 1:12.

#### **GUIDELINES: BUILDING HEIGHT**

- Partial second story balcony features are allowed and encouraged.
- Project developers are strongly encouraged to vary adjacent, significant building elements by a two-foot minimum to avoid expanses of continuous building fronts and accentuate building identities.
- All extensions above the maximum building height should be subordinate in design to the architectural features of the building, (unless otherwise approved by the TCOA).

### BUILDING SCALE

#### **STANDARDS: BUILDING SCALE**

- All buildings located within the Commercial Core shall have scale that is relative to the buildings adjacent to them and shall be respective to the streetscape.

*Continued on the next page . . .*

## ***GUIDELINES: BUILDING SCALE***

- Buildings should establish and reinforce the Town Center as a pedestrian environment with architectural features scaled accordingly.

## **BUILDING MASSING**

### ***STANDARDS: BUILDING MASSING***

- Create variations in wall planes to minimize the apparent scale of buildings.
- Minimize the perceived mass of a building or project by developing a facade of smaller buildings rather than one large, monolithic structure.
- The 'kit of parts' for Commercial Core buildings include: Flat roofs, varied parapet height and styles, varied and detailed cornice lines, open balconies, storefront facades, large display windows on the ground floor, varied canopy heights and types, mostly traditional fenestration, timber knee braces and detailing, stone columns and accents, recessed entries, etc.

### ***GUIDELINES: BUILDING MASSING***

- Variations in the exterior materials of a building surface may help to break up the perceived mass of the building.
- Minimizing the perceived mass may also be accomplished by designing structures with smaller modules and using variations in relief provided by different materials, windows or details.
- The architectural expression is designed to draw upon the regional and local heritage and to be rooted in historical precedents, while looking forward in its detailing. With building materials such as heavy cut timbers, dry-stack real stone, cedar lap and other wood siding, and a unique mix of flat and pitched roofs, the Town Center will be a unique pedestrian-friendly village in Big Sky – a feel that is

refined Western with a hint of the Old West. Town Center Avenue, the project's Main Street, will be lined with storefront, boutique shops and buildings that have many neo-traditional or New Urbanist elements, but with a distinctive Western twist. An 'outdoor room' will be created along the storefronts with the careful placement of street trees and the use of suspended flat canopy roofs above the storefront facades.

### ***IMAGES: BUILDING MASSING***



## **FRONT FACADE**

### ***STANDARDS: FRONT FACADE***

- The maximum width of the primary façade shall be 50 feet.
- All buildings shall have components that create repetitive patterns and alignments that visually link buildings within a block.
- Building facades shall contain defining architectural features or elements that identify the type of specialty commercial or specific use.
- Rectangular forms shall be dominant on Town Center Avenue facades. These forms should be vertically-oriented and appear as predominantly flat.

*Continued on the next page . . .*

- Create comfortable pedestrian cadence along the streetscape by creating individualized storefronts or 'modules' that are at least 25 feet in width, but no wider than 50 feet in width.
- Mix the façade widths and heights from storefront to storefront.
- Overall design of a larger building should create the appearance of separate buildings (storefront design).

#### ***GUIDELINES: FRONT FACADE***

- False fronts and parapets with horizontal emphasis are encouraged for Town Center Avenue facades.
- Bay and oriel windows should fit below the cornice and be subordinate elements compared to the overall building façade.

#### ***IMAGES: FRONT FACADE***



### **SIDE & REAR FACADE**

#### ***STANDARDS: SIDE & REAR FACADE***

- Facades located on secondary streets shall include sections with solid walls as required by seismic engineering considerations.
- A clear distinction between the front façade and the side façade shall be maintained so that sides of buildings have fewer windows and fewer details.

#### ***GUIDELINES: SIDE & REAR FACADE***

- The rear façade should incorporate elements of the front and side facades with the use of variation in façade treatment, use of fenestrations, color and texture.
- Side and rear entrances should be just as inviting to pedestrians as the front façade entrances.
- Buildings at street intersections should extend storefront design to at least 20 linear feet of the side façade.

### **ACCESS & ENTRANCES**

#### ***STANDARDS: ACCESS & ENTRANCES***

- Entrances to commercial buildings shall be readily visible from the street or parking area. Shared entrances shall be obvious.
- Buildings shall incorporate a public pedestrian access through the building, no less than ten (10) feet wide.
- This public pedestrian entrance should have a public restroom for use by tenants and the public.
- Entrances shall be the dominant storefront feature and be readily visible from the street and accessible from the sidewalks.
- At a minimum, the primary building entrance shall meet ADA requirements.

*Continued on the next page . . .*

- Buildings located at corners shall select Town Center Avenue or both street fronts for their primary access; a public entrance near the street intersection is strongly encouraged.

## ***GUIDELINES: ACCESS & ENTRANCES***

- Recessed entrance doors are recommended.
- Where entries are recessed, the upper floor(s) should maintain the building line at the sidewalk edge.

## ***IMAGES: ACCESS & ENTRANCES***



## **STOREFRONT DESIGN**

### ***STANDARDS: STOREFRONT DESIGN***

- All storefronts shall be designed to incorporate appropriate architectural scale and window design and related building materials.
- See Section IV.C for additional exterior window and door standards.
- The first floor of the primary façade should be predominantly transparent glass.
- Maintain proper proportions of windows on upper levels
- Doors on the storefront should not swing outward and impede pedestrian movement on the sidewalk. Recessed entries should be used with outward swinging doors. (See Section IV.C for standards)
- Express the traditional distinction in street level through detailing, materials and fenestration. The presence of belt courses on the second level is an important feature in the design of upper levels.

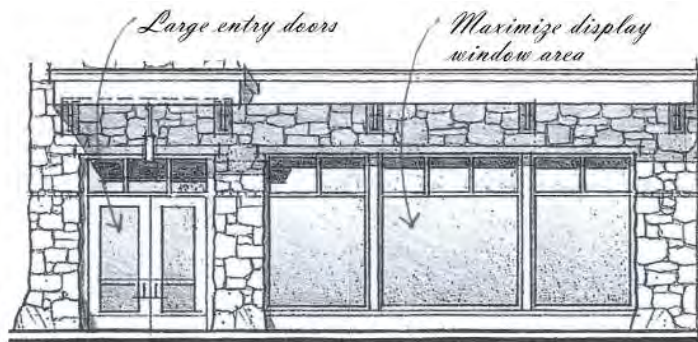
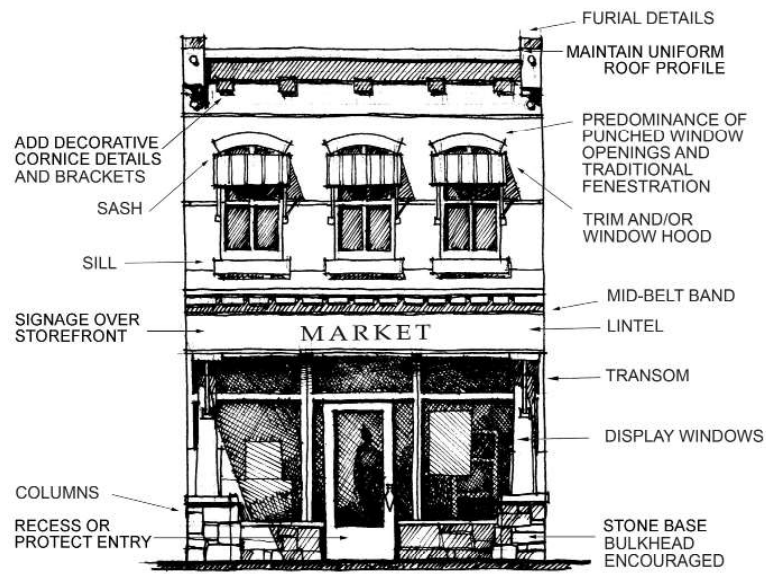
### ***GUIDELINES: STOREFRONT DESIGN***

- The rear entrance to the building should be subordinate to the front entrance, however it should have an obvious location and a canopy overhead.
- Doors should reflect a utilitarian and decorative function, using durable materials and attractive accessories such as kick plates and pulls.
- A single merchant may occupy more than one storefront.
- Storefront facades and architectural or utilitarian elements should be integrated into the overall design of the façade.
- Upper floors should be perceived as being more opaque than the lower floor.
- Energy conserving glazing features that will not detract from visibility is encouraged.

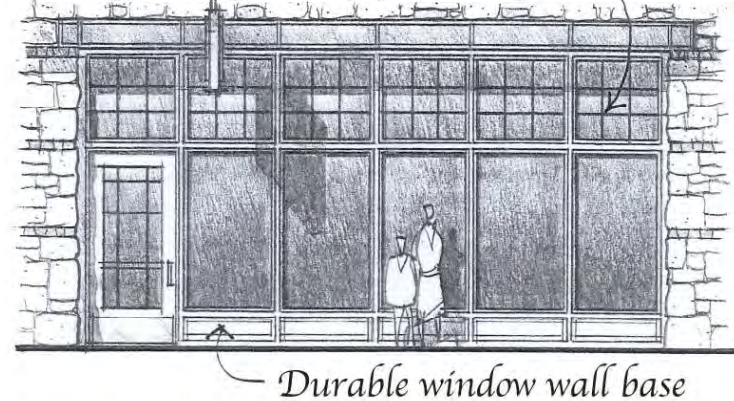
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- Transom windows are encouraged for storefronts.
- Window displays encourage pedestrian shoppers to experience the building and the businesses inside from the streetscape.

### IMAGES: STOREFRONT DESIGN



*Metal clad wood windows with divided light design at top portion of door.*



### EXTERIOR WINDOWS & DOORS

#### STANDARDS: EXTERIOR WINDOWS & DOORS

- See Section IV.C for exterior window and door standards.

#### GUIDELINES: EXTERIOR WINDOWS & DOORS

- Windows on the street level should address the pedestrian walkways and plazas adjacent to them so that light and visual connection between building and street is achieved.
- All storefronts shall address the pedestrian sidewalk and the scale using appropriate massing, scaling and detailing of the storefront façade.

## ROOF DESIGN

### **STANDARDS: ROOF DESIGN**

- Roof forms shall be varied.
- The drift load design of the roof structure shall be based on the highest possible building built, or to be built, on the adjacent lot(s).
- The roof design shall be predominantly low slope, flat, or mansard roof types.
- The top of building profile on street or plaza front façades shall vary in form two (2) feet minimum in vertical height per the following uninterrupted, horizontal roof dimensions:
  - 20-foot maximum uninterrupted profile for building frontage of 40 feet and less.
  - 30-foot maximum uninterrupted profile for building frontage of 40 feet to 50 feet
  - 40-foot maximum uninterrupted profile for building frontage of 50 feet and greater.
- Roofs shall be constructed with materials appropriate for Town Center and the environmental constraints of the area (see Table 2, pages 54 & 55).
- All asphalt shingles shall be a thick laminated shingle with a heavy reveal (such as GAF Grand Sequoia or approved equal).
- Roof design should include engineering and/or architectural design addressing public safety issues related to snow load, ice buildup and snow shedding
- All cedar shakes or shingles shall be Class B fire-rated. All roof materials shall be fire-retardant and non-reflective.

### **GUIDELINES: ROOF DESIGN**

- Varying roof planes add visual interest to the street environment, provided they are aesthetically appropriate to the rugged mountain context and functionally responsive to the harsh climate.
- Elements such as expressive brackets, cornices, copings, layered and over-lapping fascia and exposed rafters with profiled ends are strongly encouraged.
- Top of wall copings or extended roof edges create visual interest
- Gable or pitched roofs should be used sparingly, or to emphasize a particular architectural element.

### **IMAGES: ROOF DESIGN**



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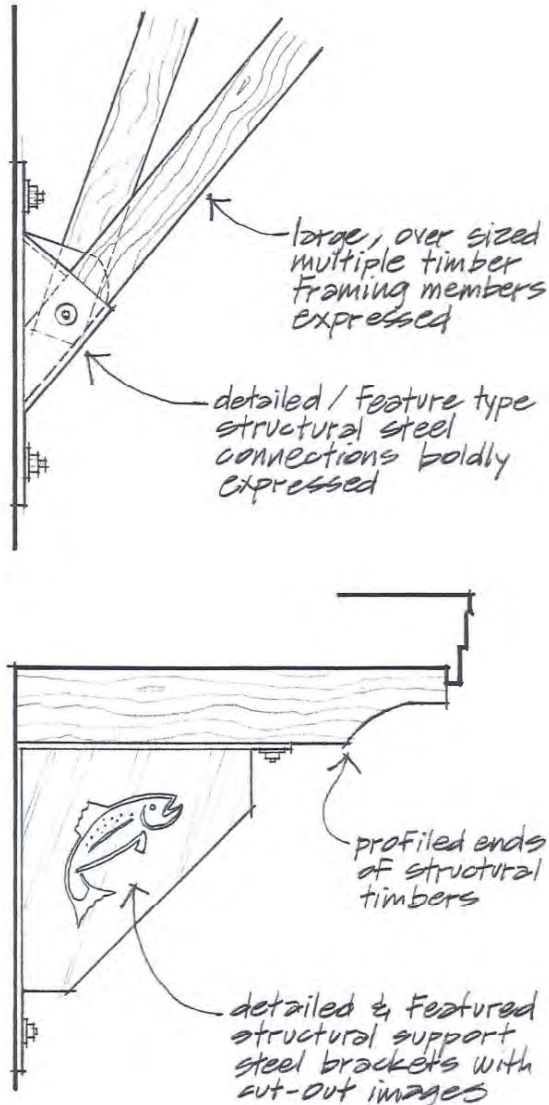
## CANOPIES & AWNINGS

### **STANDARDS: CANOPIES & AWNINGS**

- Canopies and awnings shall be designed and constructed to be consistent and complimentary with the architecture of the building and in scale with the pedestrian streetscape on the following page.
- Exposed structural expression of wood framing members, timbers and steel detailed elements supporting the roofs, sheds, and balconies shall be a feature of all building designs.
- Extended roof edges, sheds, and canopies shall be incorporated to protect building features, balconies, entrances, and especially public walks from weather and snow accumulation.

### **GUIDELINES: CANOPIES & AWNINGS**

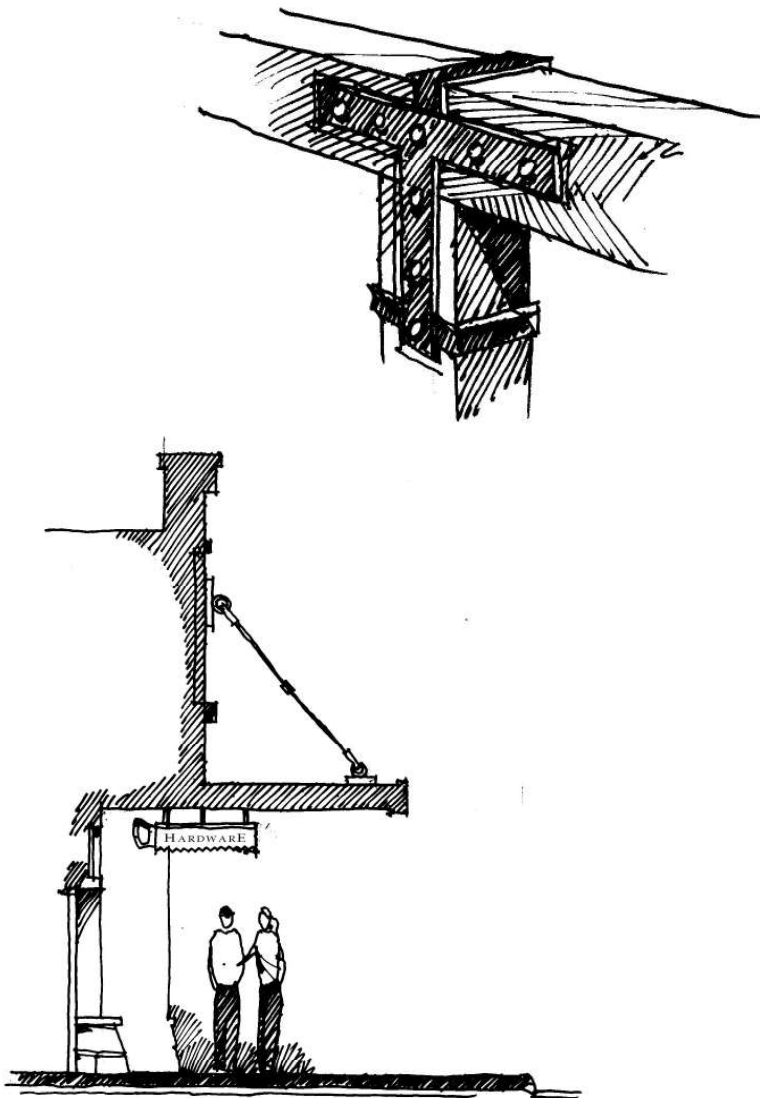
- Flat metal canopies are encouraged.
- Awnings should be constructed of durable, commercial grade materials.
- Sloped, solid canopies are discouraged in order to minimize adverse impacts of snow sliding onto the sidewalk in winter.
- Retractable awnings are recommended for providing shade in the summer.
- New designs that draw upon fundamental mountain architecture styles are encouraged.
- Projecting elements, such as bays, chimneys, cornices and dormers help to provide visual interest to commercial buildings and should be well-integrated into the building design.



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## ARCHITECTURAL FEATURES

### *IMAGES: CANOPIES & AWNINGS*



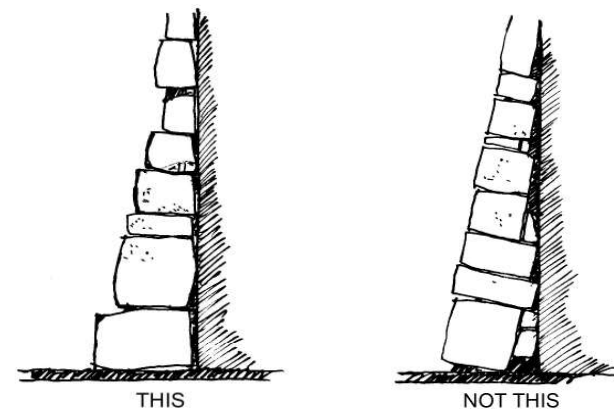
### *STANDARDS: ARCHITECTURAL FEATURES*

- All Commercial Core development shall conform to Table 2, Section IV, "Commercial Exterior Building Materials for the Big Sky Town Center," for use of building materials.
- Cultured or faux stone is prohibited.
- The use of other synthetic materials designed to replicate natural materials is prohibited.
- Battered stone is required. Stone should be stepped, not sloped.

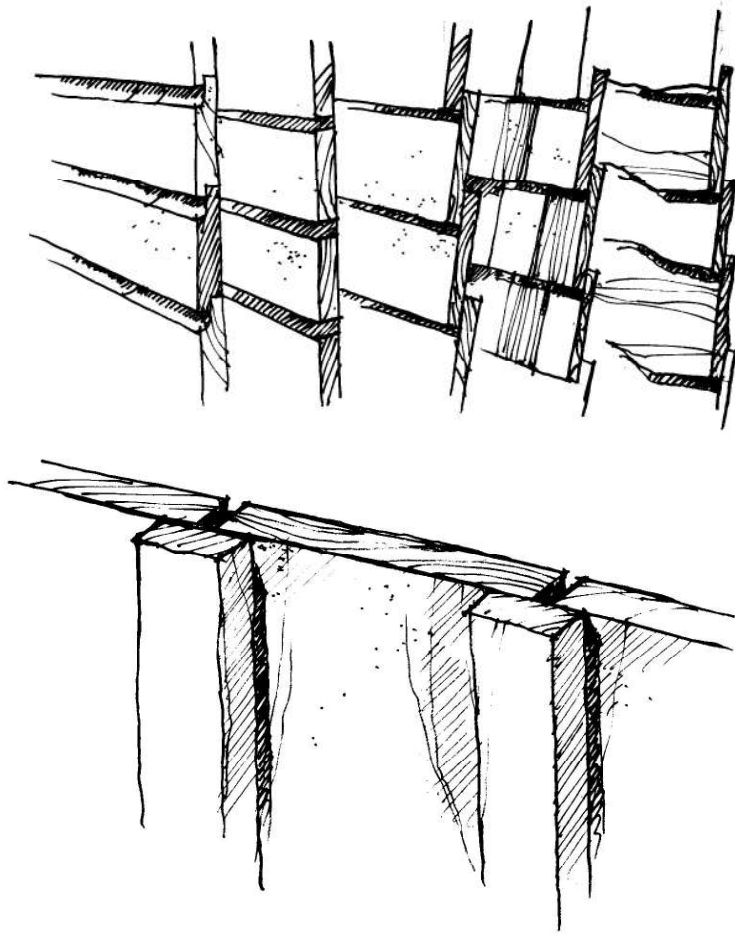
### *GUIDELINES: ARCHITECTURAL FEATURES*

- Building facades should provide sufficient articulation to avoid the domination of large exterior walls.
- Accent bands of stone are encouraged
- Natural wood siding, shingles, waned edge wood and board and batten are encouraged.

### *IMAGES: ARCHITECTURAL FEATURES*



*Continued on the next page . . .*



### EXTERIOR MATERIALS

#### **STANDARDS: EXTERIOR MATERIALS**

- All Commercial Core development shall conform to Table 2, Section IV, “Commercial Exterior Building Materials for Big Sky Town Center,” for use of building materials.

- The use of cultured faux stone is prohibited.
- The use of other synthetic materials designed to replicate natural materials is prohibited.
- Application of stone masonry as an accent building material, particularly on the ground floor level, is required. Use of stone with the application of a “battered” large-stone setting at the wall base is strongly encouraged, and may be required by the TCOA in certain applications (i.e. post or column support bases).
- All exterior metal railings, exposed metal braces/supports/bracketry, trench drain covers, etc. shall be coated with an industrial enamel, powder coat, or other long-lasting, high-performance coating for exterior metals.

### COLOR

#### **STANDARDS: COLOR**

- Exterior building colors throughout the Town Center shall emphasize earth tones fitting with the natural, surrounding environment.
- TCAC shall review for approval all proposed exterior-building materials, finishes and color schemes as part of the final design review process.

#### **GUIDELINES: COLOR**

- Trim and other accentuating details of the building may be finished in brighter or contrasting color schemes to add compatible interest.

### DECKS, BALCONIES & TERRACES

#### **STANDARDS: DECKS, BALCONIES & TERRACES**

- Decks, Terraces and upper story balconies are strongly encouraged to create visual pedestrian interest and social activity in the Commercial Core area.

## ***GUIDELINES: DECKS, BALCONIES & TERRACES***

- Open railings are strongly encouraged to provide activity and interaction on upper floors.

## **HOLIDAY LIGHTING**

### ***STANDARDS: HOLIDAY LIGHTING***

- Small, clear holiday lights shall be installed and maintained on all buildings in the Commercial District. The exterior lighting shall be illuminated, during the hours of darkness, beginning the day after Thanksgiving, and each day thereafter, until March 31, of the next calendar year (see also the Town Center Declaration).
- Lights shall be installed on the cornice or parapet of flat-roof buildings, along the fascia of pitched roof buildings, and to highlight other prominent architectural features such as columns, shed roofs, corners, window openings, etc.
- The electrical plan for a building shall include outlets near gable peaks, near the fascia, near shed roofs, and other locations near logical places for holiday light installations.

### ***GUIDELINES: HOLIDAY LIGHTING***

- A timer may be wired to these outlets to control the illumination times.

## **LODGING STRUCTURES**

### ***STANDARDS: LODGING STRUCTURES***

- Building facades and roofs shall contain architectural elements that define it as a lodging building with visitor services and amenities.
- Entries shall include covered areas for vehicular drop-off and pick-up and building entrances.

## ***GUIDELINES: LODGING STRUCTURES***

- Building design should include exterior spaces for guest use, social functions, and weddings.
- Courtyards, forecourts, landscaped areas and water features are encouraged throughout the property.

## **PUBLIC/QUASI PUBLIC STRUCTURES**

### ***STANDARDS: PUBLIC/QUASI PUBLIC STRUCTURES***

- Building facades and roofs shall contain architectural features and other architectural elements that serve to define the unique character of civic architecture.
- Reference Section XIII for schematic examples of appropriate public/quasi public building design.

### ***GUIDELINES: PUBLIC/QUASI PUBLIC STRUCTURES***

- Buildings should incorporate elements that symbolize the public nature of the building (i.e. flags, monuments, plaques, clock towers).
- Buildings shall be constructed of durable and bold materials and have strong geometric lines.
- It is recommended to use rusticated stone foundations, entry porches, enclosed or covered entries and paired windows.
- Ornamental stonework or woodwork is also recommended.

## **RECREATION FACILITIES & STRUCTURES**

### ***STANDARDS: RECREATION FACILITIES & STRUCTURES***

- Building facades shall contain architectural features and a unique character that reflects or suggests the particular type of recreational use.

### ***GUIDELINES: RECREATION FACILITIES & STRUCTURES***

- Special attention should be paid to roof articulation so that dominant, uninterrupted rooflines are avoided.

## **EMPLOYEE HOUSING**

### ***STANDARDS: EMPLOYEE HOUSING***

- Employee Housing shall be located on the second or subsequent floors of a commercial building, and shall meet the requirements for such use in the Town Center Declaration and in the zoning regulations.

## VI. NEIGHBORHOOD COMMERCIAL DESIGN STANDARDS AND GUIDELINES

Neighborhood Commercial properties are the transition business districts between the Commercial Core area and the adjacent residential neighborhoods. The Neighborhood Commercial district within the Town Center is intended to provide a location for commercial businesses commonly associated with vehicular drive-up or service related uses. A bank, dry cleaner or movie rental store are all examples of uses where quick, short transactions are frequent and are appropriate within this land use classification.

Other retail, commercial, dining or office uses are also encouraged and permitted. Wherever possible, building relationships, massing and scale shall encourage a continuous store front façade commonly associated with a pedestrian shopping environment, while also allowing efficient, vehicular access.

It will be a diverse, mixed-use environment with commercial, business, service and possible entertainment components knitted together by buildings that share a common design character found only in the Town Center community.

Figure 4, on the following page, illustrates the Neighborhood Commercial areas in the Town Center.

The guidelines and standards set forth in this subsection will govern the review and approval by the TCAC. Any drawings accompanying guidelines are illustrative only, and are intended to provide direction and interpretation of the related standard or guideline.

In addition to the standards and guidelines described here, the following

documents apply to all developments in the Neighborhood Commercial areas:

1. Gallatin Canyon/Big Sky Zoning Regulation
2. Big Sky Town Center Declaration of Covenants, Conditions and Restrictions
3. Big Sky Town Center Master Signage Plan
4. Big Sky Town Center Parking Regulation, Management Plan and Ordinance

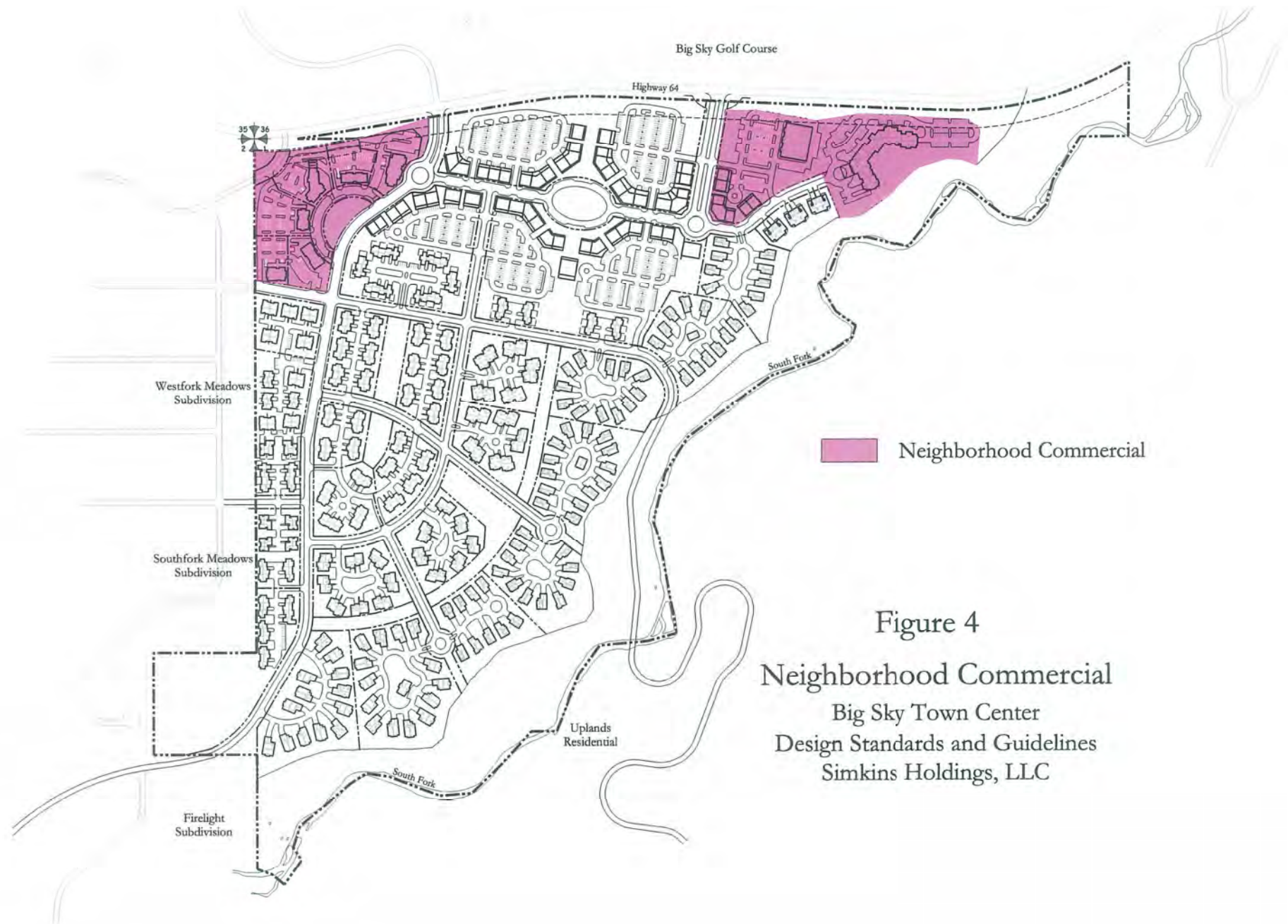


Figure 4  
Neighborhood Commercial  
Big Sky Town Center  
Design Standards and Guidelines  
Simkins Holdings, LLC

## A. SITE DESIGN - NEIGHBORHOOD COMMERCIAL

### BUILDING SETBACK/BUILDING ENVELOPE

#### **STANDARDS: BUILDING SETBACKS/BUILDING ENVELOPE**

- All buildings within the Neighborhood Commercial areas shall maintain the setback requirements of the Gallatin Canyon/Big Sky Zoning Regulations.
- Parking is not permitted within the front yard of any Neighborhood Commercial lot.
- All lots located adjacent to the South Fork River shall submit a site-specific geotechnical report to the TCAC during Phase B of the DLUP application process.

#### **GUIDELINES: BUILDING SETBACK/BUILDING ENVELOPE**

- Reference the Gallatin Canyon/Big Sky Zoning Regulation for setback requirements.
- The “General Geotechnical Report for the South Fork Rim Development” may be acquired from the TCAC.
- See Section II of this document.

### SITE FURNISHINGS, OUTDOOR SEATING, & BIKE RACKS

#### **STANDARDS:**

##### ***SITE FURNISHINGS, OUTDOOR SEATING & BIKE RACKS***

- All benches within the Town Center commercial area shall be purchased and installed by the project developer using shop drawings available from the TCAC.
- Benches installed within commercial projects shall be one of those illustrated in Section IV.A.2
- See Section IV.A.2 for additional standards and guidelines.

#### **GUIDELINES:**

##### ***SITE FURNISHINGS, OUTDOOR SEATING & BIKE RACKS***

- The project developer may provide and install additional seating or benches if approved by the TCAC.
- Mini parks are encouraged to enhance the pedestrian experience.
- Mini parks may contain unique site furniture, paving surfaces and landscape plantings to encourage their use.
- Mini parks should be in areas that receive sun.

### SIGNS

#### **STANDARDS: SIGNS**

- All signs shall be designed and installed according to the Master Signage Plan.
- All signs shall be reviewed and approved by TCAC prior to installation.
- All buildings and/or units shall have its street number (address) of at least 4” in height attached to the building and visible from the street. See additional regulations in the Master Signage Plan.
- All commercial buildings shall have a building name affixed to the front façade. This building name should reflect the business name or other approved name (year of building completion, roman numeral, etc.)

#### **GUIDELINES: SIGNS**

- Reference the Master Signage Plan, as provided in the Development Reference Manual.

## **TRANSPORTATION & CIRCULATION**

### ***STANDARDS: TRANSPORTATION & CIRCULATION***

- All parking lots or parking areas shall be designed and installed according to the Gallatin Canyon/Big Sky Zoning Regulation and the Town Center Parking Regulation, Management Plan, and Ordinance.

### ***GUIDELINES: TRANSPORTATION & CIRCULATION***

- These requirements are available on-line or at the Gallatin County Planning Department.
- Provide clear pathways between and around buildings, uninterrupted by parking areas and roads, to encourage pedestrian activity.

## **GRADING & DRAINAGE**

### ***STANDARDS: GRADING & DRAINAGE***

- All lots within the Town Center shall discharge excessive stormwater into the streets.
- Surface drainage shall not be directed onto adjacent properties.
- See section VI Surface Drainage for Standard Sidewalk Chase Detail.

### ***GUIDELINES: GRADING & DRAINAGE***

- The drains and ditches have been designed to transport stormwater to the detention ponds at the northeast portion of Town Center.

## **FENCES**

### ***STANDARDS: FENCES***

- Fencing within the Neighborhood Commercial areas shall only be

used to screen ground mounted mechanical equipment and shall not exceed five (5) feet in height.

### ***GUIDELINES: FENCES***

- Fencing should be opaque and constructed of durable materials.

## **UTILITIES**

### ***STANDARDS: UTILITIES***

- All utilities shall be located underground or behind screened areas
- All propane tanks shall be located underground, and shall be accessible for refueling and maintenance.
- All electrical conduits for right-of-way landscaping, lighting and signage shall be provided and installed by the project developer.

## **SERVICE AREAS**

### ***STANDARDS: SERVICE AREAS***

- All service areas shall be located to the rear of the building and shall be appropriately screened from view.

### ***GUIDELINES: SERVICE AREAS***

- These service areas can be screened using landscaping or opaque fencing or walls, or a combination of the two.

## **OUTDOOR STORAGE**

### ***STANDARDS: OUTDOOR STORAGE***

- Storage shall be contained within buildings.
- Outdoor storage, whether uncovered, in sheds or other ancillary structures is prohibited.

## B. LANDSCAPE DESIGN NEIGHBORHOOD COMMERCIAL

### PARKING LOTS

#### **STANDARDS: PARKING LOTS**

- Parking lots for all Neighborhood Commercial areas shall be landscaped according to the “General Landscape Requirements,” as described in Section IV.

#### **GUIDELINES: PARKING LOTS**

- This will ensure that parking lots are not the dominant feature in the landscape.
- The project developer may increase these minimum requirements to create additional planting areas within or directly adjacent to parking lots.

### BUILDINGS

#### **STANDARDS: BUILDINGS**

- Informational signs for building or property shall compliment the architectural character and materials of the building.
- Each building shall install at least one bench or a well-defined outdoor seating area that is in conformance with the site furniture requirements of this document.
- Seasonal flower baskets or planters shall be provided at the front entrance to all buildings.
- All commercial buildings shall have at least 70%, less entryways and service areas, of the perimeter of the foundation of the building planted with appropriate shrub and/or tree species in order to create attractive plantings.

#### **GUIDELINES: BUILDINGS**

- Recessed entrances to buildings are strongly encouraged.
- Entrances to buildings should be inviting during all seasons.
- Seasonal flowers or plantings should be well-maintained and watered frequently, given the dry weather during the summer months.

### OPEN SPACE

#### **STANDARDS: OPEN SPACE**

- All neighborhood commercial lots shall install landscaping on at least 20% of the lot (either native or ornamental)
- All edging shall be green steel.
- All open space on site shall contain at least two areas that contain the use of natural and indigenous rock or boulders to break up the landscape or plantings.



- Per every 100 linear feet of rear and side yards, the following shall be planted in the open space areas on the lot (minimum one grouping for a lot with less than 100 linear feet of rear or side yards):
  - One large coniferous tree and one large canopy tree; or
  - Three small ornamental trees and six evergreen shrubs; or
  - Three small trees and twelve (12) medium shrubs (at least half of which shall be deciduous).
  - (Definitions of plant material sizes are located in Section IV, section on “Plant Sizes.”)
- Groundcover shall be sod, wood mulch, or other vegetative material. Seeded (broadcast or hydroseed) groundcover such as wildflower or native grass mixtures are permitted only where property abuts a steep slope with a grade of at least 20%.
- Although boulders and rock accents may be used in the open space areas, rock or stone mulch is not acceptable in planting beds as the predominant groundcover. Bark mulch or vegetative materials shall be used.

#### ***GUIDELINES: OPEN SPACE***

- These plantings may occur in the perimeter of the lot or in open space not occupied by buildings, parking lots or accessory buildings or structures.

### **LANDSCAPE BUFFER**

#### ***STANDARDS: LANDSCAPE BUFFER***

- If a building in Neighborhood Commercial is adjacent to residential use, a landscape border not less than a 15-feet shall be provided at the edge of the parking lot.

## Big Sky Town Center Design Standards & Guidelines

### ***GUIDELINES: LANDSCAPE BUFFER***

- See Gallatin Canyon / Big Sky Zoning Regulations.

## **C. BUILDING DESIGN**

### **NEIGHBORHOOD COMMERCIAL**

### **ENERGY EFFICIENCY**

#### ***STANDARDS: ENERGY EFFICIENCY***

- All plumbing fixtures in all buildings shall meet or exceed the EPA’s Water Sense requirements, as they may be amended from time to time.
- Buildings shall be designed to be energy efficient and should incorporate the most current building products available to achieve this.

#### ***GUIDELINES: ENERGY EFFICIENCY***

- Buildings should incorporate active and/or passive solar elements.
- Alternative energy sources such as geothermal and solar are encouraged and will be supported by the TCOA.
- The building envelope design shall meet or exceed the Montana Energy Code (1989 ASHRAE 90.1), or current applicable code.

### **BUILDING HEIGHT**

#### ***STANDARDS: BUILDING HEIGHT***

- For that portion of a building with parapet walls or mansard roofs, and a flat roof system\*, the building height shall be calculated as described in Sections 22, 31, and 34 of the Gallatin Canyon/Big Sky Zoning Regulation.
- For buildings with gable or hip roofs the illustration and text in Section IV shall be used to calculate building height.

- See Section 22 of the Gallatin Canyon/Big Sky Zoning Regulations for maximum building heights.
  - \*Flat Roof System: Shall be defined as a roof having a slope from 0:12 to 1:12.

## ***GUIDELINES: BUILDING HEIGHT***

- Top of building form and height variation is encouraged to avoid long developments of continuous building or roof massing.
- All extensions above the maximum building height should be subordinate in design to the architectural features of the building, unless otherwise approved by the TCOA.

## **BUILDING SCALE**

### ***STANDARDS: BUILDING SCALE***

- All buildings located within the Neighborhood Commercial areas shall have scale that is relative to the buildings adjacent to them and respective to the streetscape.

### ***GUIDELINES: BUILDING SCALE***

- Buildings should establish and reinforce the surrounding Neighborhood Commercial development as a pedestrian environment that also addresses adjacent parking lots and driveways.
- Building massing and scale should be responsive to the site, including views, terrain, visibility of site, and existing vegetation.

## **FRONT FACADE**

### ***STANDARDS: FRONT FACADE***

- All buildings shall have components that create repetitive patterns and alignments that visually link buildings within a block.

- Building facades shall contain defining architectural features or elements that identify the type of use.

## ***GUIDELINES: FRONT FACADE***

- Vertical architectural features such as pilasters or stone columns should separate individual storefronts.

## **SIDE & REAR FACADE**

### ***STANDARDS: SIDE & REAR FACADE***

- Facades located on secondary streets or near parking lots or access drives shall have attractive architectural wall treatments that compliment the front façade.
- A secondary entrance or access point shall be provided on at least one of the side facades, or the rear façade.

### ***GUIDELINES: SIDE & REAR FACADE***

- Buildings at street intersections should extend storefront design to at least 20 linear feet of the side façade.
- The rear façade should incorporate elements of the front and side facades with the use of variation in façade treatment, use of fenestrations, color and texture.

## **ACCESS & ENTRANCES**

### ***STANDARDS: ACCESS & ENTRANCES***

- Entrances to commercial buildings shall be readily visible from the street or parking area. Shared entrances shall be obvious.

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- Entrances shall be the dominant storefront feature and be readily visible from the street and accessible from the sidewalks.
- Building entrances shall meet ADA requirements.
- See Section IV.C for additional exterior window and door standards.

#### ***GUIDELINES: ACCESS & ENTRANCES***

- Buildings located at corners should select at least one facade for their primary access.
- A public entrance near the street intersection is strongly encouraged.
- Recessed entrance doors are recommended.
- Rear and side entrances to the building should be subordinate to the front entrance, however they should have an obvious location and a canopy overhead.
- Doors should reflect a utilitarian and decorative function, using durable materials and attractive accessories such as kick plates and pulls.

### **EXTERIOR WINDOWS & DOORS**

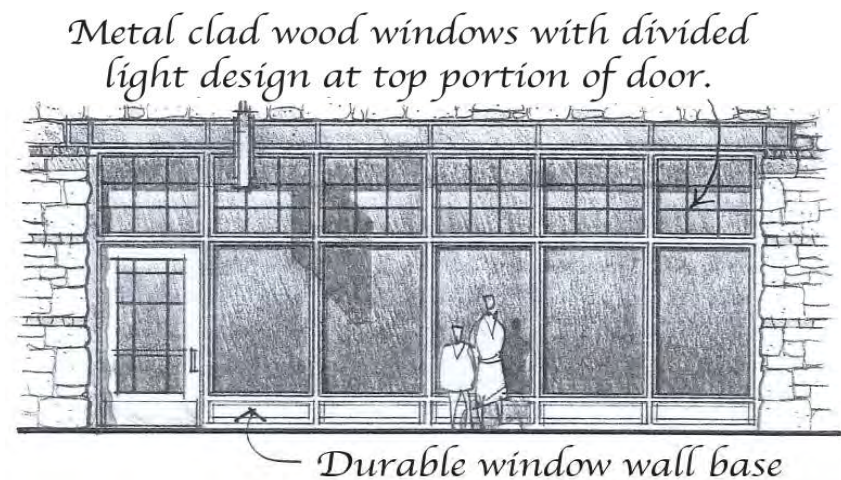
#### ***STANDARDS: EXTERIOR WINDOWS & DOORS***

- Windows on the street level shall address the pedestrian walkways and plazas adjacent to them so that light and visual connection between the building and the street is achieved.
- Integration of creative and unique divided light patterns is strongly encouraged throughout, with simulated or true divided light glazing methods only.
- See Section IV.C for exterior window and door standards.

#### ***GUIDELINES: EXTERIOR WINDOWS & DOORS***

- Energy conserving glazing features that will not detract from visibility is encouraged.
- Window displays encourage pedestrian shoppers to experience the building and the businesses inside from the streetscape and parking lot.

#### ***IMAGES: EXTERIOR WINDOWS & DOORS***



## **ROOF DESIGN**

### **STANDARDS: ROOF DESIGN**

- Roof forms shall be varied.
- The top of building profile on street or plaza front façades shall vary in form a minimum of a two (2) feet in vertical height per the following uninterrupted, horizontal building or roof dimensions and street frontage:
  - 20-foot maximum uninterrupted profile for building frontage of 40 feet and less.
  - 30-foot maximum uninterrupted profile for building frontage of 40 feet to 50 feet.
  - 40-foot maximum uninterrupted profile for building frontage of 50 feet and greater.
  - Roof mounted mechanical equipment shall be screened from adjacent buildings or windows and from the street.
  - Roof materials shall be fire-retardant and non-reflective.
  - Mansard roofs, domes and A-frames are prohibited.
- Roof shall be constructed with materials appropriate for the Town Center and the environmental constraints of the area (see Table 2, IV.B)
- All asphalt shingles shall be a thick laminated shingle with a heavy reveal (such as GAF Grand Sequoia, or approved equal)
- All cedar shakes or shingles shall be Class B fire-rated. All roof materials shall be fire-retardant and non-reflective.

### **GUIDELINES: ROOF DESIGN**

- Varying roof planes add visual interest to the street environment, provided they are aesthetically appropriate to the rugged mountain context and functionally responsive to the harsh climate.

- Elements such as expressive brackets, cornices, copings, layered and over-lapping fascia and exposed rafters with profiled ends are strongly encouraged.
- Top of wall copings or extended roof edges should create visual interest with bold design details and building form.
- Minimum roof insulation should be R-30 with a rating of R-50 recommended to help prevent ice dams.
- Roof design should include engineering and/or architectural design addressing public safety issues related to snow load, ice buildup and snow shedding.
- Low slope or flat roofs are appropriate and are strongly encouraged on commercial buildings.
- Roof overhangs should extend at least one-foot over the vertical building wall in order to reduce weathering and moisture on walls.
- Roof melt systems and associated gutter / downspouts are strongly encouraged, and may be required in certain cases.

## **CANOPIES & AWNINGS**

### **STANDARDS: CANOPIES & AWNINGS**

- Canopies and awnings shall be designed and constructed to be consistent and complimentary with the architecture of the building and in scale with the pedestrian streetscape below.

### **GUIDELINES: CANOPIES & AWNINGS:**

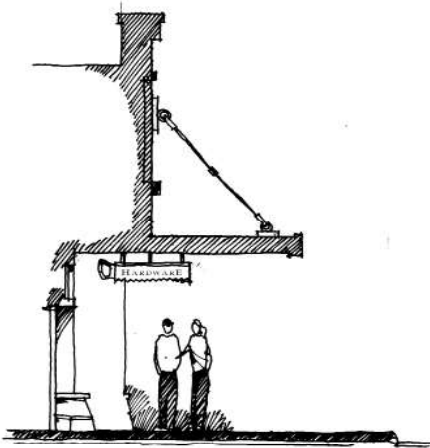
- Flat metal canopies are encouraged where applicable.
- Awnings should be constructed of durable, commercial grade materials.
- Sloped, solid canopies are discouraged in order to minimize adverse

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impacts of snow sliding onto the sidewalk in winter.

- Retractable awnings are recommended for providing shade in the summer.

### ***IMAGES: CANOPIES & AWNINGS***



## **ARCHITECTURAL FEATURES**

### ***STANDARDS: ARCHITECTURAL FEATURES***

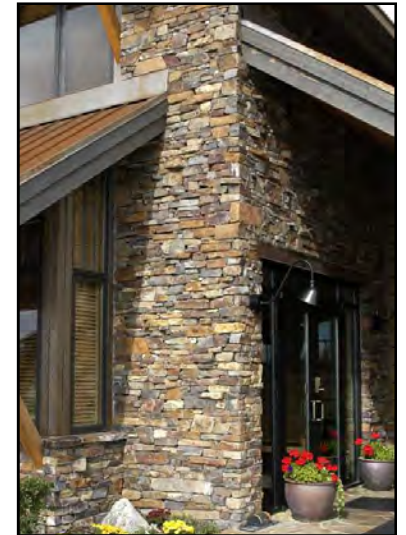
- Exposed structural expression of wood framing members, timbers and steel detailed elements supporting the roofs, sheds and balconies shall be a feature of all building designs.
- Extended roof edges, sheds and canopies shall be incorporated to reflect the western mountain environment and protect building features, upper balconies, entrances and especially the public walkway from weather and snow accumulation. Refer to the “Roof Design” and “Canopies and Awnings” sections for specific guidelines.
- The application of stone masonry as an accent building material, particularly on the ground floor level, is required on commercial buildings. Use of stone with the application of a “battered” large-stone setting at the wall base is encouraged, and may be required by the TCOA in certain applications (i.e. post or column support bases, or other architectural features).

### ***GUIDELINES: ARCHITECTURAL FEATURES***

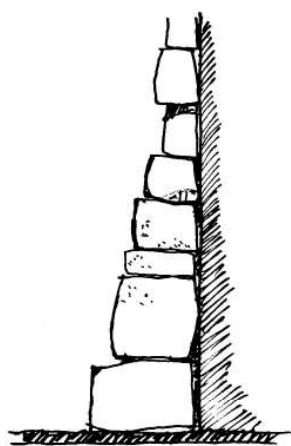
- New designs that draw upon fundamental mountain architecture styles are encouraged.
- Projecting elements, such as bays, chimneys, cornices and dormers help to provide visual interest to a building and should be well integrated into the building design.
- Refer to Table 2 in Section IV.B Exterior Materials for specific types, styles, and applications.
- Building components shall be similar in scale to those used in traditional central business districts.

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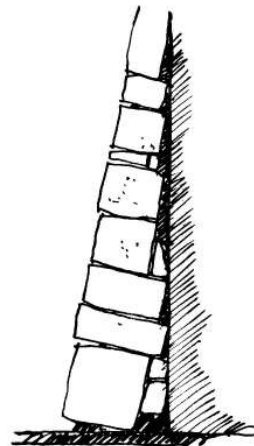
**IMAGES: ARCHITECTURAL FEATURES**



Kootenai Ledge Stone, or similar stone type and color



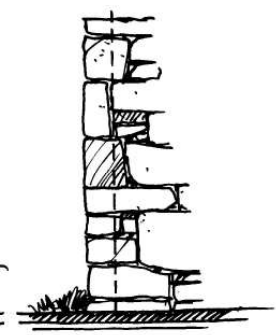
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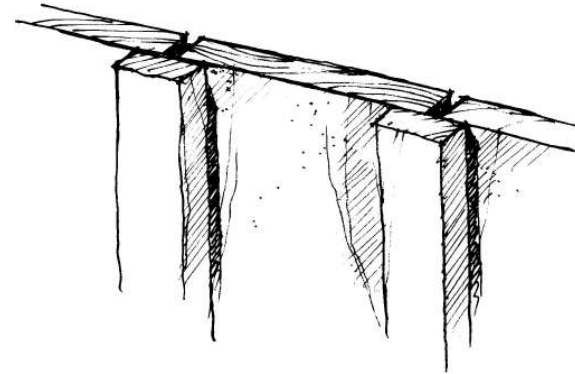
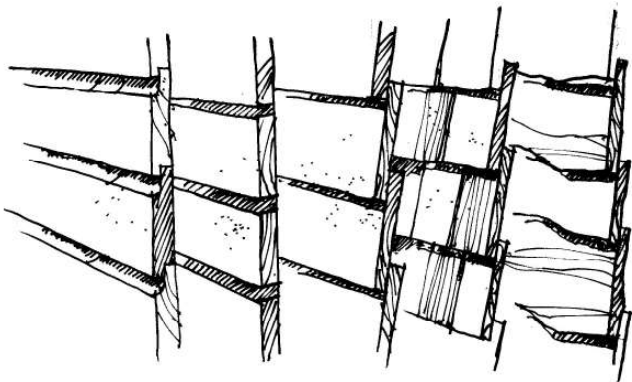
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## EXTERIOR MATERIALS

### **STANDARDS: EXTERIOR MATERIALS**

- All building development shall conform to Table 2, in Section IV.B, “Commercial Exterior Building Materials for Big Sky Town Center,” for use of building materials.
- The use of faux (cultured) stone is prohibited.
- The use of other synthetic materials designed to replicate natural materials is prohibited.
- The application of stone masonry as an accent building material, particularly on the ground floor level, is required on commercial buildings (see below). Use of stone with the application of a “battered” large-stone setting at the wall base is encouraged, and may be required by the TCOA in certain applications (i.e. post or column support bases).
- All exterior metal railings, exposed metal braces/supports/bracketry, trench drain covers, etc. shall be coated with an industrial enamel, powder coat, or other long-lasting, high-performance coating for exterior metals.

### **IMAGES: EXTERIOR MATERIALS**



## COLOR

### **STANDARDS: COLOR**

- Exterior building colors throughout the Town Center shall emphasize earth tones fitting with the natural, surrounding environment.
- TCAC shall review and approve all proposed exterior-building materials, finishes and color schemes as part of the final design review process (DLUP Phase B).

### **GUIDELINES: COLOR**

- Trim and other accentuating details of the building may be finished in brighter or contrasting color schemes to add compatible interest.

## EXTERIOR WALLS & FORMS

### **STANDARDS: EXTERIOR WALLS & FORMS**

- Street facing building façades shall address the “street edge” particularly on ground floor levels along property line setbacks.

*Continued on the next page . . .*

- Street facing upper level balconies or varied façade forms to accentuate design features are encouraged. Balcony railings shall exhibit an “open” design.
- Large or long building masses shall integrate variations of design to create pedestrian visual interest and reduce the scale of large buildings. Design efforts can vary assorted components such as building forms, materials, canopies, window patterns, and signage.

## ***GUIDELINES: EXTERIOR WALLS & FORMS***

- Walls should be articulated to avoid domination by large, undifferentiated planes.

## ***IMAGES: EXTERIOR WALLS & FORMS***

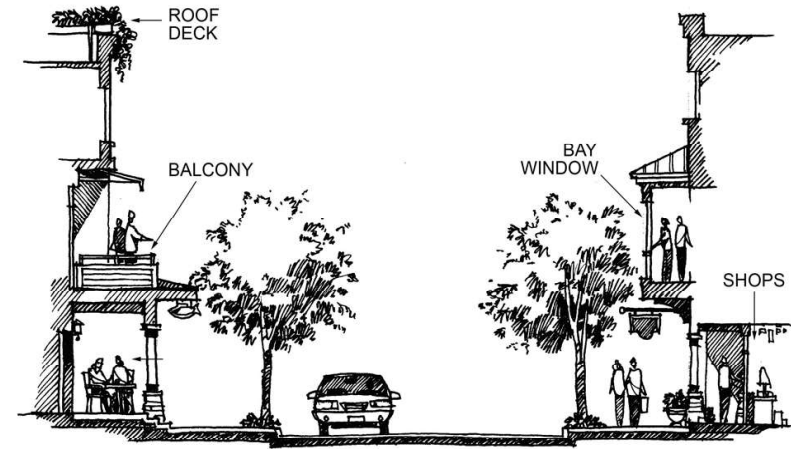


## **DECKS, BALCONIES & TERRACES**

### ***STANDARDS: DECKS, BALCONIES & TERRACES***

- Decks, terraces and second floor balconies are strongly encouraged to create visual pedestrian interest and social activity in the Neighborhood Commercial area.

## ***IMAGES: DECKS, BALCONIES & TERRACES***



## **HOLIDAY LIGHTING**

### ***STANDARDS: HOLIDAY LIGHTING***

- Small, clear holiday lights shall be installed and maintained on all buildings in the Commercial District. The exterior lighting shall be illuminated, during the hours of darkness, beginning the day after Thanksgiving, and each day thereafter, until March 31, of the next calendar year (see also the Town Center Declaration).
- Lights shall be installed on the cornice or parapet of flat-roof buildings, along the fascia of pitched roof buildings, and to highlight other prominent architectural features such as columns, shed roofs, corners, window openings, etc.

*Continued on the next page . . .*

- The electrical plan for a building shall include outlets near gable peaks, near the fascia, near shed roofs, and other locations near logical places for holiday light installations.

#### ***GUIDELINES: HOLIDAY LIGHTING***

- A timer may be wired to outlets to control the illumination times.

### **LODGING STRUCTURES**

#### ***STANDARDS: LODGING STRUCTURES***

- Building facades and roofs shall contain architectural elements that define it as a lodging complex with visitor services and amenities.
- Entries shall include covered areas for vehicular drop-off and pick-up and building entrances.

#### ***GUIDELINES: LODGING STRUCTURES***

- Building façades should provide sufficient articulation to avoid the domination of large exterior walls.
- Buildings should include exterior spaces for guest use, social functions, and weddings.
- Courtyards, forecourts, landscaped areas and water features are encouraged.

### **PUBLIC/QUASI PUBLIC STRUCTURES**

#### ***STANDARDS: PUBLIC/QUASI-PUBLIC STRUCTURES***

- Building façades and roofs shall contain architectural features and other architectural elements that serve to define the unique character of historic civic architecture.
- Reference Section XIII for examples of appropriate public/quasi-public building design.

#### ***GUIDELINES: PUBLIC/QUASI-PUBLIC STRUCTURES***

- Buildings should incorporate elements that symbolize the public nature of the building (i.e. flags, monuments, plaques, clock towers).
- Buildings shall be constructed of durable and bold materials and have strong geometric lines.

### **RECREATION FACILITIES & STRUCTURES**

#### ***STANDARDS: RECREATIONAL FACILITIES & STRUCTURES***

- Building façades shall contain architectural features and unique character that reflects or suggests the particular type of recreational use.

#### ***GUIDELINES: RECREATIONAL FACILITIES & STRUCTURES***

- Special attention should be paid to roof articulation so that dominant, uninterrupted rooflines are avoided or mitigated.

### **EMPLOYEE/COMMUNITY HOUSING**

#### ***STANDARDS: EMPLOYEE/COMMUNITY HOUSING***

- Employee/Community housing shall be located on the second or subsequent floor of a commercial building, and shall meet the requirements for such use in the Town Center Declaration and in the zoning regulations.

## **VII. SINGLE FAMILY RESIDENTIAL DESIGN STANDARDS AND GUIDELINES**

The Single-Family Residential areas within the Town Center are intended to be a unified community of homes expressing individuality within the Big Sky environment. The architectural character of these homes should reflect the western mountain vernacular indicative of the rugged Montana landscape.

The intent with the Single-Family Residential areas also is to provide a diverse housing market for local and second homebuyer market. These Single-Family Residential areas are located within walking distance of commercial amenities and plentiful open space.

Figure 5, on the following page, illustrates the residential areas within Town Center where single-family (or multi-family) residences may be built. The shaded area shows a general residential area that will allow for future planning of single-family (or multi-family) residential areas to meet future trends in this market of real estate.

The guidelines and standards set forth in this subsection will govern the review and approval by the TCAC. The drawings are illustrative only, and are intended to provide direction and interpretation of the related standard or guideline.

In addition to the standards and guidelines described here, the following documents apply to all developments in the Single-Family Residential areas:

1. Gallatin Canyon/Big Sky Zoning Regulation
2. Big Sky Town Center Declaration of Covenants, Conditions and Restrictions
3. Big Sky Town Center Master Signage Plan

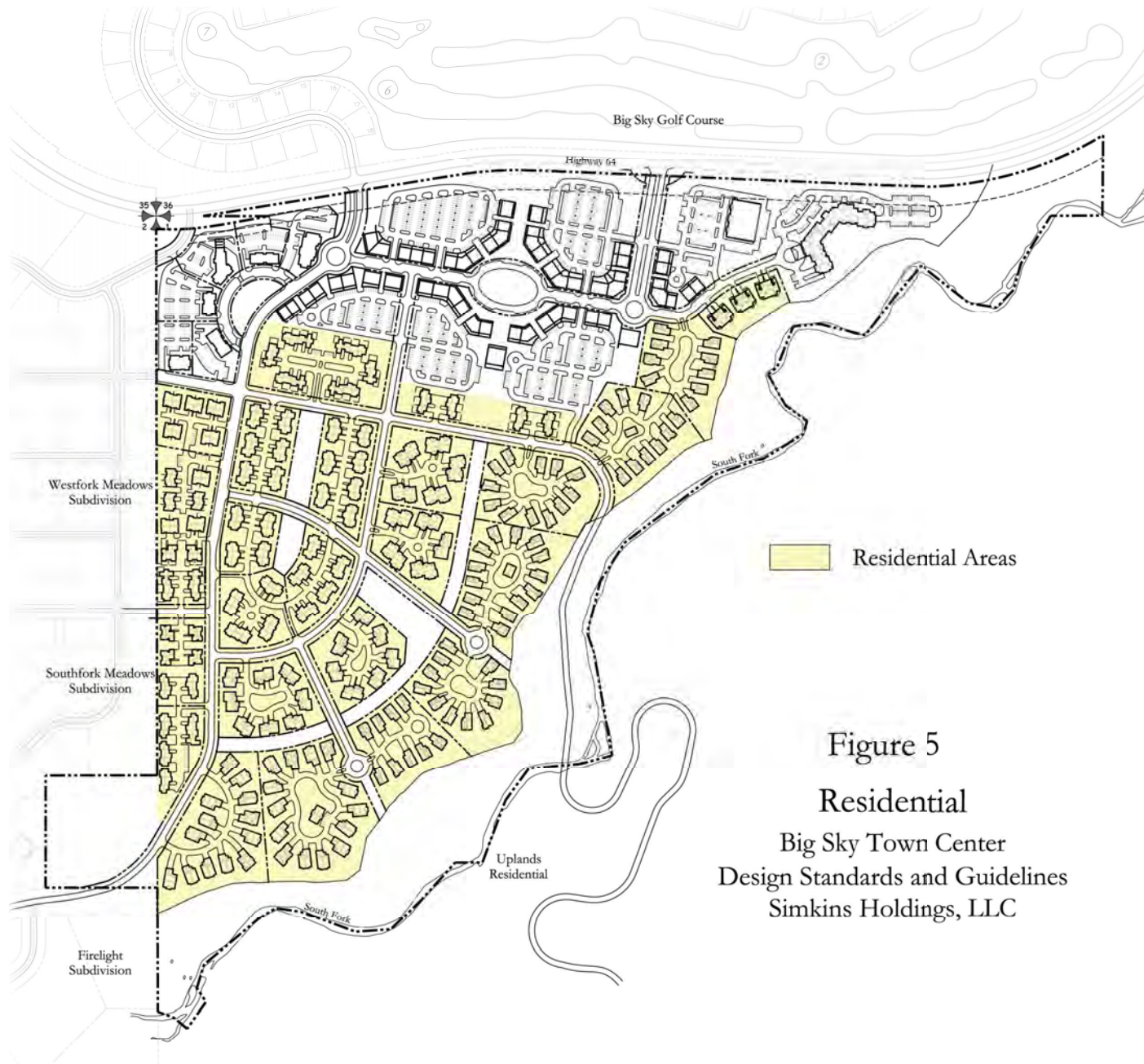


Figure 5  
Residential  
Big Sky Town Center  
Design Standards and Guidelines  
Simkins Holdings, LLC

## A. SITE DESIGN - SINGLE FAMILY RESIDENTIAL

### BUILDING SETBACKS/BUILDING ENVELOPE

#### ***STANDARDS: BUILDING SETBACKS/BUILDING ENVELOPE***

- All buildings or structures shall be placed within the required setbacks as outlined in the Gallatin Canyon/Big Sky Zoning Regulation.
- Outdoor storage of equipment and RV's is prohibited within the front yard setback of any residential lot in Town Center.
- The principal structure on the site shall be the dominant element. All accessory structures shall be subordinate in size, features and form to the principal structure.
- Building massing and scale should be responsive to the site, including views, visibility of site and existing vegetation.
- All lots located on the rim adjacent to the wildland open space/bluff above the South Fork of the West Fork River shall submit a site-specific geotechnical report to the TCAC during the DLUP Phase B application process.

#### ***GUIDELINES: BUILDING SETBACKS/BUILDING ENVELOPE***

- Reference the Gallatin Canyon/Big Sky Zoning Regulation for building setback requirements, including those for accessory structures.
- Satellite dishes and dog kennels must be screened from view of adjacent lots.
- Buildings should be sited and landscaped so as to minimize the impact on neighboring lots, especially visual impacts.
- The "General Geotechnical Report for the South Fork Rim Development" may be acquired from the TCAC.

### SIGNS

#### ***STANDARDS: SIGNS***

- Signs for single-family residential subdivisions in the residential zoning districts shall adhere to the requirements of the Master Signage Plan.
- All residential buildings shall have the street number (address) of at least 4" in height attached to the building and clearly visible from the street or driveway, whichever is approved by the TCOA and the Fire Department.
- Interior streets shall have the necessary traffic control signs, such as stop and yield signs. All signs shall be constructed to the standards as developed by the TCOA.

#### ***GUIDELINES: SIGNS***

- Reference the Master Signage Plan, as provided in the Development Reference Manual.

### DRIVEWAYS & PARKING

#### ***STANDARDS: DRIVEWAYS & PARKING***

- All required off-street parking shall be within the lot boundary, and shall not encroach on public or private right of ways.
- The minimum length of a driveway is 22 feet between the garage face and the building side of the sidewalk.
- Single driveways shall not exceed 12 feet in width.
- Detached, condo-style single-family developments shall provide on-site parking spaces at the rate of at least 3 parking spaces per unit.

*Continued on the next page . . .*

***GUIDELINES: DRIVEWAYS & PARKING***

- Access drives, driveways, and parking surfaces may be constructed of modular pavers, asphalt or concrete (gravel surfacing is prohibited).
- Visitor parking should be located in readily visible and accessible locations and shall be identified as such.
- Visitor parking should be dispersed throughout the development. It should not be sited directly in front of entrances to units.

**GRADING & DRAINAGE*****STANDARDS: GRADING & DRAINAGE***

- All lots within the Town Center shall discharge excessive stormwater into the streets.
- Surface drainage shall not be directed onto adjacent properties.
- See Section IV, Surface Drainage for Standard Sidewalk Chase Detail.

***GUIDELINES: GRADING & DRAINAGE***

- The drains and ditches have been designed to transport stormwater to the detention ponds at the northeast portion of the Town Center.

**UTILITIES*****STANDARDS: UTILITIES***

- All utilities shall be located underground or behind screened areas.
- All propane tanks shall be located underground, and shall be accessible for refueling and maintenance.
- All electrical conduits for right-of-way landscaping, irrigation, lighting and signage shall be provided and installed by the project developer.

- All electrical conduits shall be UL rated.

**BIKE RACKS*****STANDARDS: BIKE RACKS***

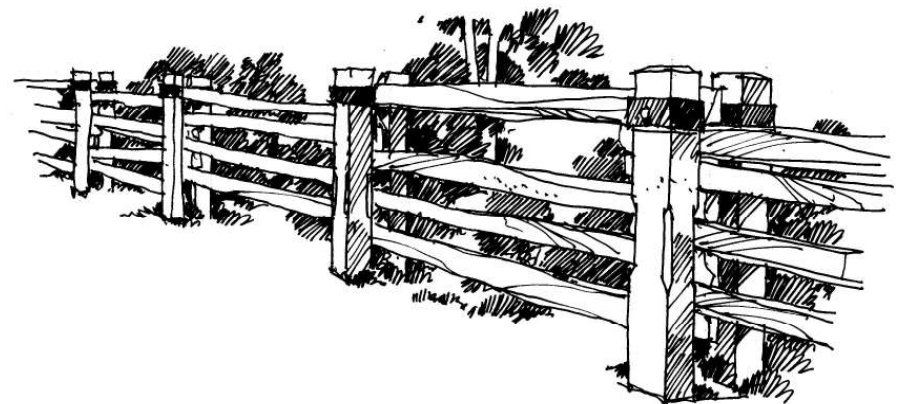
- Any bike racks within the Town Center single-family areas shall be provided and installed by the project developer and selected from a list of standard bike racks, as provided by TCAC.

***GUIDELINES: BIKE RACKS***

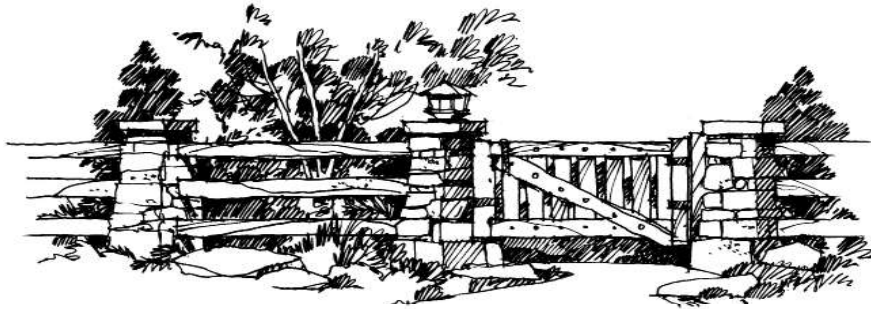
- Examples of appropriate bike racks are shown in Section IV.

**FENCES*****STANDARDS: FENCES***

- Fencing shall be designed and constructed as required in Section IV.

***IMAGES: FENCES***

*Continued on the next page . . .*



## TRASH CONTAINERS

### ***STANDARDS: TRASH CONTAINERS***

- All single-family residences shall provide individual or common trash containers that meet local collection standards.
- All trash containers shall be animal-proof (contact the TCAC for specific guidelines).

### ***GUIDELINES: TRASH CONTAINERS***

- Portable or individual trash containers should be stored in a shed or in the garage.
- Common trash containers should be screened from adjacent land uses by a durable opaque enclosure.

## SWIMMING POOLS & HOT TUBS

### ***STANDARDS: SWIMMING POOLS & HOT TUBS***

- All swimming pools and hot tubs shall be constructed to current industry or manufacturer standards as well as International Building Code.

- A 4-foot high fence with a securable gate or door for access shall enclose all swimming pools constructed on single-family lots.
- Above-ground swimming pools\* are prohibited within the Town Center.
  - \*Above-ground pools are defined for the purpose of these standards and guidelines as a pool which has its lowest point at the same level as the finished grade on which it is placed.

### ***GUIDELINES: SWIMMING POOLS & HOT TUBS***

- Hot tubs may be in-ground or above ground. If hot tubs are above-ground, all necessary mechanical equipment and support structures shall be screened from view.
- Above ground pools are defined for the purpose of these standards and guidelines as a pool which has its lowest point at the same level as the finished grade on which it is placed.

## RECREATIONAL EQUIPMENT

### ***STANDARDS: RECREATIONAL EQUIPMENT***

- Recreational equipment shall be setback from the rear and side property lines at least ten (10) feet.
- Any lots with play or recreational equipment in the rear yard shall screen this use from adjacent properties by means of a fence (Section IV.A.2) or appropriate landscape plantings that are at least six (6) feet in height.

### ***GUIDELINES: RECREATIONAL EQUIPMENT***

- Individual homeowners within the single-family development may install or construct freestanding or anchored play equipment in the rear yards on their property.

## **FIREWOOD**

### ***STANDARDS: FIREWOOD***

- Residences in single-family areas may either store firewood in a common area or on individual lots.
- Firewood storage areas shall be constructed or situated taking into consideration local governing fire code or restrictions.
- All firewood storage areas shall be concealed from adjacent properties or land uses by means of a fence, enclosure, or landscape plantings.
- Brightly colored tarps shall not be used to cover firewood.

### ***GUIDELINES:***

- The Big Sky Fire Department may be contacted regarding local fire codes or restrictions at (406) 995-2100.

## **DOG KENNELS**

### ***STANDARDS: DOG KENNELS***

- Dog kennels are permitted in rear and side yards only.
- All dog kennels or dog runs shall be reviewed and approved by the TCAC.
- Screening is required for all kennels. Landscaping may be used for screening.

### ***GUIDELINES: DOG KENNELS***

- Dog kennels should be constructed of durable materials.
- Kennels should be placed in an inconspicuous area away from the direct view of adjacent lots and primary roads.

## **OUTDOOR STORAGE**

### ***STANDARDS: OUTDOOR STORAGE***

- Outdoor storage is prohibited, except for stacked firewood. Items such as bikes, barbecues and outdoor furniture stored or used on decks and in side or rear yards are not considered “outdoor storage.”
- Outdoor storage of recreational vehicles (RV’s), trailers and boats is prohibited. They must be stored in garages or other buildings.

## **B. LANDSCAPE DESIGN**

### **SINGLE-FAMILY RESIDENTIAL**

## **LOT LANDSCAPING**

### ***STANDARDS: LOT LANDSCAPING***

- All single-family lots shall install and maintain landscaping (either native or ornamental) on at least 25% of the lot.
- All single-family lots shall have at least 2 large (30’+ mature ht.) deciduous canopy trees planted on the property.
- All single-family lots shall have at least 2 small (12’ – 25’ mature ht.) ornamental trees planted on the property.
- All single-family lots shall have at least 2 large coniferous trees planted on the property.
- All detached single-family condominium-style projects shall install the landscaping required under Section VIII – Multi-Family Residential.
- All edging shall be green steel.
- (Definitions of plant material sizes are located in Section IV, section on “Plant Sizes.”)

*Continued on the next page . . .*

- Foundation plantings are required to conceal foundations, mechanical equipment, play equipment, firewood storage or other undesirable views onto the property.

## ***GUIDELINES: LOT LANDSCAPING***

- Respect views from neighboring lots.
- Be aware that fruit-bearing trees may attract bear or moose in the fall and that these animals may damage these trees.
- Street tree spacing may be adjusted by the TCOA at the time of installation to respond to driveway locations.
- Fences and privacy berms are strongly discouraged. Vegetative hedges are preferred.
- If used, berms should be planted and contoured to look as natural as possible.

## **LAWN AREAS**

### ***STANDARDS: LAWN AREAS***

- Lawn areas shall be mowed to maintain attractive leaf blade lengths throughout the growing season.

### ***GUIDELINES: LAWN AREAS***

- Lawns should be watered adequately to prevent sun scorching or dying-off of large expanses of grass.
- Irrigation of lawns should be adjusted to maintain a healthy lawn and conserve water during these times.

## **IRRIGATION**

### ***STANDARDS: IRRIGATION***

- All residential lots and adjacent right-of-ways shall be irrigated with an automatic irrigation system installed by the project developer.
- Landscape designs shall take into consideration conservation of water during irrigation by designing irrigation systems to use water as efficiently as possible.
- Irrigation shall not endanger the stability of a slope. All lots located adjacent to the South Fork River shall submit a site-specific geotechnical report to the TCAC at the time of application for the DLUP Phase B. This report shall address planting and irrigation requirements of the project.

### ***GUIDELINES: IRRIGATION***

- The Big Sky Water and Sewer District may issue intermittent watering restrictions throughout the growing season.
- See Section II of this document.
- The general geotechnical report for the South Fork Rim development may be acquired from the TCAC.

## **MAINTENANCE OF LANDSCAPING**

### ***STANDARDS: MAINTENANCE OF LANDSCAPING***

- All landscaped areas shall be maintained in a good condition throughout the year.

### ***GUIDELINES: MAINTENANCE OF LANDSCAPING***

- If fencing or netting is required in the fall to protect against animal damage, it should be installed on October 1st and removed on or before May 1st of every year.

## C. BUILDING DESIGN

### SINGLE-FAMILY RESIDENTIAL

#### ENERGY EFFICIENCY

##### ***STANDARDS: ENERGY EFFICIENCY***

- All plumbing fixtures in all buildings shall meet or exceed the EPA's Water Sense requirements, as they may be amended from time to time.
- Buildings shall be designed to be energy efficient and should incorporate the most current building products available to achieve this.

##### ***GUIDELINES: ENERGY EFFICIENCY***

- Buildings may incorporate active and/or passive solar elements.
- Alternative energy sources such as geothermal and solar are encouraged and will be supported by the TCOA.
- Exterior wall insulation should be rated at R-19 minimum.

#### BUILDING AREA

##### ***STANDARDS: BUILDING AREA***

- The minimum building area for the primary dwelling unit (excluding attached garage) is 1,000 square feet.
- Caretaker / guest units shall not exceed 1,000 square feet and shall be integrated into the overall structure.

#### BUILDING HEIGHT

##### ***STANDARDS: BUILDING HEIGHT***

- For that portion of a dwelling with parapet walls or mansard roofs and a flat roof system\*, the building height shall be calculated as shown in

Section 23 of the Gallatin Canyon/Big Sky Zoning Regulation.

- For buildings with gable or hip roofs, the illustration and text in Section IV shall be used to calculate the building height.
- Roof-mounted mechanical equipment and/or electrical equipment shall be shielded from view, and all extensions above the maximum building height shall be approved by the TCOA.
- The maximum height for all accessory structures is 21 feet.
  - \* Flat Roof System: Shall be defined as a roof having a slope from 0:12 to 1:12.

##### ***GUIDELINES: BUILDING HEIGHT***

- See Table 21.C.1 of the Gallatin Canyon/Big Sky Zoning Regulations for maximum building heights.
- All extensions above the maximum building height should be subordinate in design to the architectural features of the building, (unless otherwise approved by the TCOA).

#### GARAGES

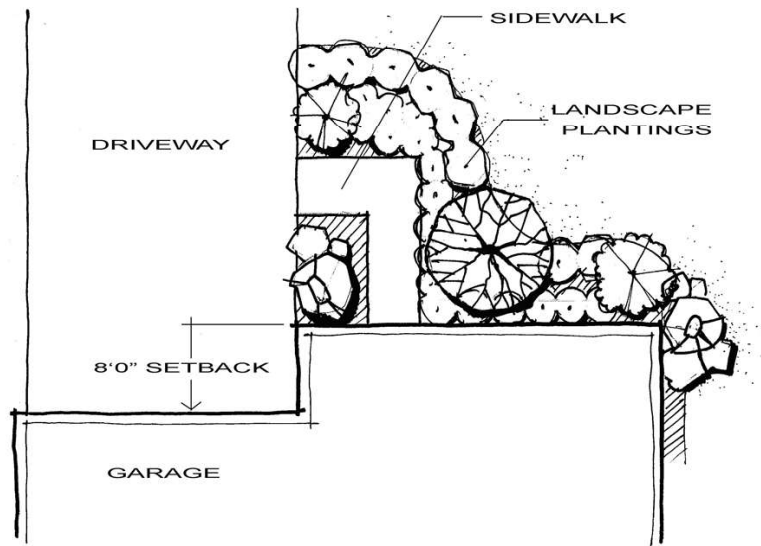
##### ***STANDARDS: GARAGES***

- Attached garages shall not obscure the entrance to the dwelling and shall be setback at least eight (8) feet behind the front façade of the residence (unless otherwise approved by the TCOA).
- Garages shall be subordinate in design and size, including area of door, to the main structure, whether attached or detached.
- All double garage doors shall be separated at the mid-point by a vertical architectural treatment. Two separate garage entries to the same garage may be preferred.

*Continued on the next page . . .*

***GUIDELINES: GARAGES***

- Garages may be attached or detached and should have a similar character as the residence. Attached garages should be side-loading when practical and detached garages should be set back behind the primary residential structure. (see standards)
- When practical, the garage doors should not face the primary street.
- Minimize the visual impacts of garage doors visible from streets or neighboring lots by using windows, panels or color, etc.
- Where practical, locate garage doors to prevent drifting snow and allow the sun to assist with snow removal.
- The use of wood or painted metal for garage doors is encouraged.
- The use of a (slightly) darker paint tone color or construction material is encouraged for garage doors.

***IMAGES: GARAGES*****CARETAKER/GUEST UNITS*****STANDARDS: CARETAKER/GUEST UNITS***

- Caretaker, guest units and other accessory buildings shall not exceed that of the primary dwelling unit on the same lot.

**ROOF & CANOPY DESIGN*****STANDARDS: ROOF & CANOPY DESIGN***

- Roof and canopy designs shall prevent snow or ice from shedding directly onto a pedestrian walkway or access.
- Roof and canopy structures shall be designed based on 140 PSF ground snow load plus drift loading.
- Roof slopes shall be a minimum pitch of 6:12 and a maximum pitch of 12:12. Secondary roof pitches of 4:12 may be used for minor shed dormers.
- Roofs shall not exceed 30 feet in length without a change in form or direction of two (2) feet minimum, vertically or horizontally.
- Skylights shall be of high quality, insulated construction and shall include adequate flashing details to ensure proper performance.
- Roofs shall be constructed with materials appropriate for Town Center and the environmental constraints of the area.

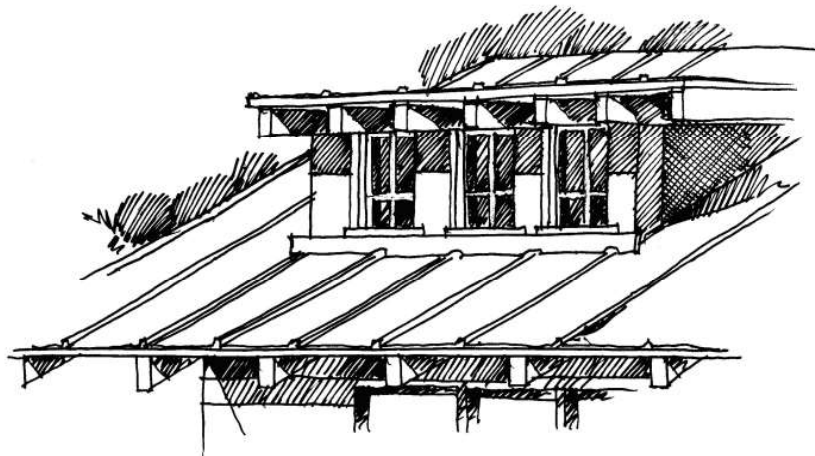
***GUIDELINES: ROOF & CANOPY DESIGN***

- Snow sloughing should be controlled and measures shall be taken to prevent snow and ice from damaging property or injuring people.
- Roofs should compliment and respond to the mountain setting and heavy snow environment.
- Roof-mounted items such as satellite dishes and skylights should be integrated into the overall roof design and be concealed where possible.

*Continued on the next page . . .*

- Roofs should be pitched, such as gable, hip and shed roofs and be overhung at least 12" (two feet is preferred) over the entire outside wall.
- Minimum roof insulation is R-30 with a rating of R-50 recommended to help prevent ice dams.
- Dormers are appropriate in residential areas and effectively break up roof expanses.
- Roof melt systems, and associated gutter/downspouts are strongly encouraged, and may be required in certain cases.

***IMAGES: ROOF & CANOPY DESIGN***



**DECKS, BALCONIES & TERRACES**

***STANDARDS: DECKS, BALCONIES & TERRACES***

- Decks and balconies shall be designed to handle snow and drift loads including possible snow shedding from roof overhangs above.
- On all patios, positive drainage away from the building shall be maintained.
- Decks, porches and balconies shall be contained within the setbacks (unless otherwise approved by the TCOA).

***GUIDELINES: DECKS, BALCONIES & TERRACES***

- Decks, balconies and terraces are encouraged and shall be integrated into the overall building design.
- Terraces can provide a natural transition between the building and the yard.

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## EXTERIOR WALLS

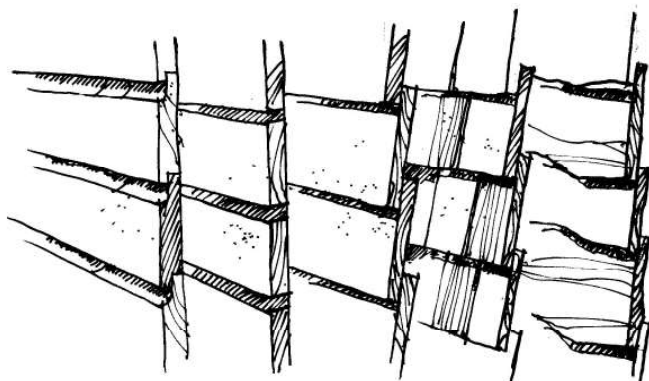
### **STANDARDS: EXTERIOR WALLS**

- Residential structures exterior wall surfaces shall not exceed 30 feet without a change in wall form or direction. Change in wall surface direction shall be two (2) feet minimum.
- Natural and/or wood materials are encouraged for siding and exterior walls.
- Use of cement-fiber composite siding material may be permitted in certain areas.

### **GUIDELINES: EXTERIOR WALLS**

- Varied façade forms and upper level balconies are encouraged.
- Variations of building materials and colors should be used to accentuate design forms and features.
- Standard-color cement-fiber composite siding should be used with restraint. The TCAC may require custom colors, depending on the situation and siding application.
- Custom-colored or painted cement-fiber composite siding is preferred over the standard colors.

### **IMAGES: EXTERIOR WALLS**



Kootenai Ledge Stone, or similar stone type and color

*Continued on the next page . . .*

## **EXTERIOR WINDOWS & DOORS**

### ***STANDARDS: EXTERIOR WINDOWS & DOORS***

- See Section IV.C for additional exterior window and door standards.
- The benefits of an aluminum-clad wood window and door that meet or exceed the specifications in Section IV.C are:
  - Superior thermal and energy efficiency
  - Superior warranty on paint and glass (20/10 yr)
  - Beauty and warmth of wood, architectural detailing
  - Superior design flexibility with 50 color choices, various wood species, and hundreds of divided light options and styles
  - Factory-glazed system with a dual seal
  - Windows are installed prior to exterior façade, resulting in tight perimeter joints

### ***GUIDELINES: EXTERIOR WINDOWS & DOORS***

- Standard doors and window sizes are strongly encouraged to allow easy replacement in the future.
- Where practical, locate entrances to avoid drifting snow and so the sun can assist with snow removal.
- Entrances should provide appropriate cover from rain and snow. Porches are encouraged.

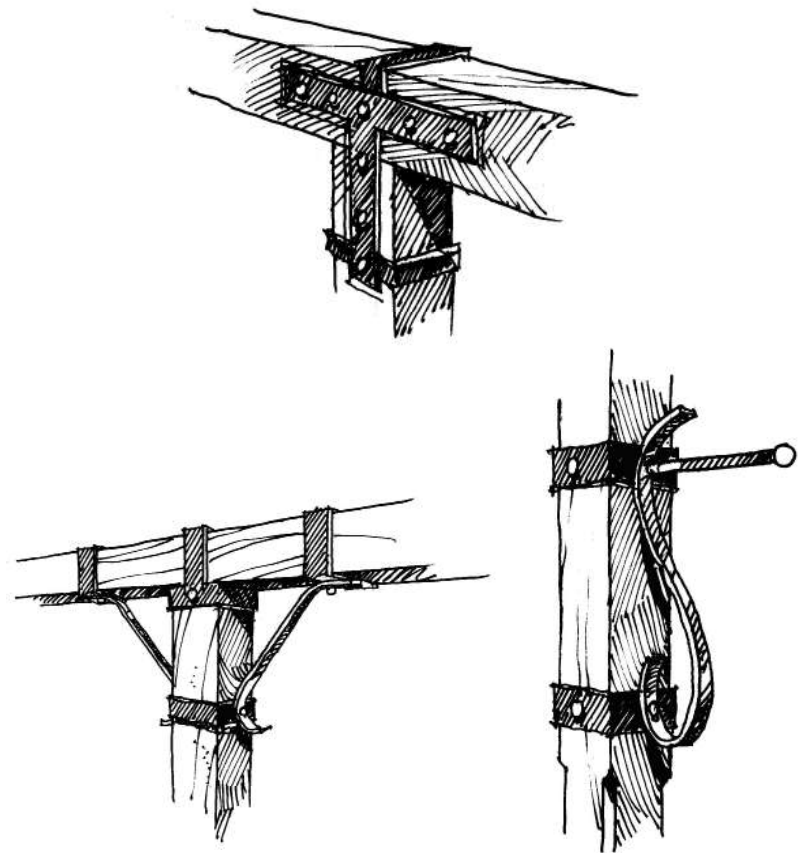
## **ARCHITECTURAL FEATURES**

### ***STANDARDS: ARCHITECTURAL FEATURES***

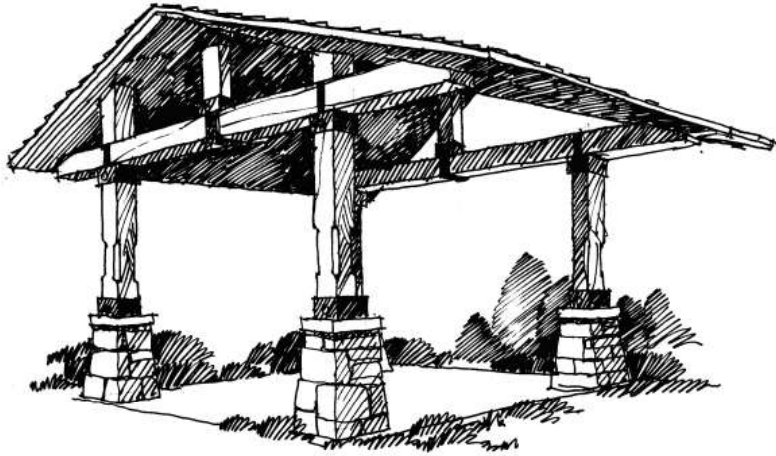
- Accessory structures shall emulate the architectural character of the primary residence.

- Exposed structural expression of wood framing members, timbers and steel detailed elements supporting the roofs, sheds and balconies shall be a feature of all building designs.

### ***IMAGES: ARCHITECTURAL FEATURES***



*Continued on the next page . . .*



## COLORS

### ***STANDARDS: ARCHITECTURAL FEATURES***

- Materials and colors for structures shall be harmonious with the surrounding site.
- Exterior building colors shall emphasize earth tones fitting with the natural, surrounding environment.
- TCAC shall review for approval all proposed exterior-building materials, finishes and color schemes as part of the DLUP application process.
- Semi-transparent stains and finishes on wood products are preferred over solid colors.

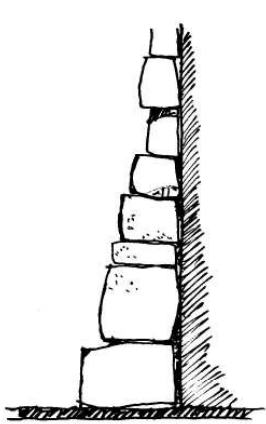
## EXTERIOR MATERIALS

### ***STANDARDS: EXTERIOR MATERIALS***

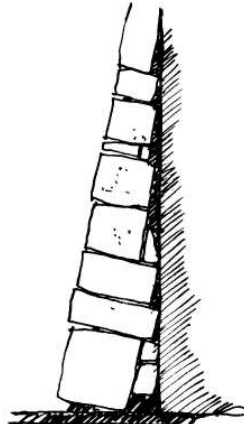
- Refer to Table 3 in Section IV “Residential Exterior Building Materials for Big Sky Town Center,” for information regarding appropriate building materials.
- Application of stone masonry as an accent building material is strongly encouraged. Use of real stone with the application of “battered” large-stone setting at the wall base is strongly encouraged.
- Natural and/or wood materials are required for siding and exterior walls. Heavy cut timbers, dry-stack real stone, cedar lap and other wood siding are all materials that are approved for use in the Town Center.

### ***GUIDELINES: EXTERIOR MATERIALS***

- Exterior building materials should accentuate interesting building forms and elements.
- The layers and patterns of materials, details and structural members should reinforce the Town Center’s “Western Mountain Architecture” theme.
- Materials should be able to withstand the caustic mountain weather cycles and maintain an enduring life cycle of beauty, service and performance.
- Premier quality materials should be used to provide a strong sense of lasting value.
- Materials should be used that reflect a relationship between the built and natural environment of this unique location.
- The use of indigenous materials is strongly encouraged.

*IMAGES: EXTERIOR MATERIALS*

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## **VIII. MULTI-FAMILY RESIDENTIAL DESIGN STANDARDS AND GUIDELINES**

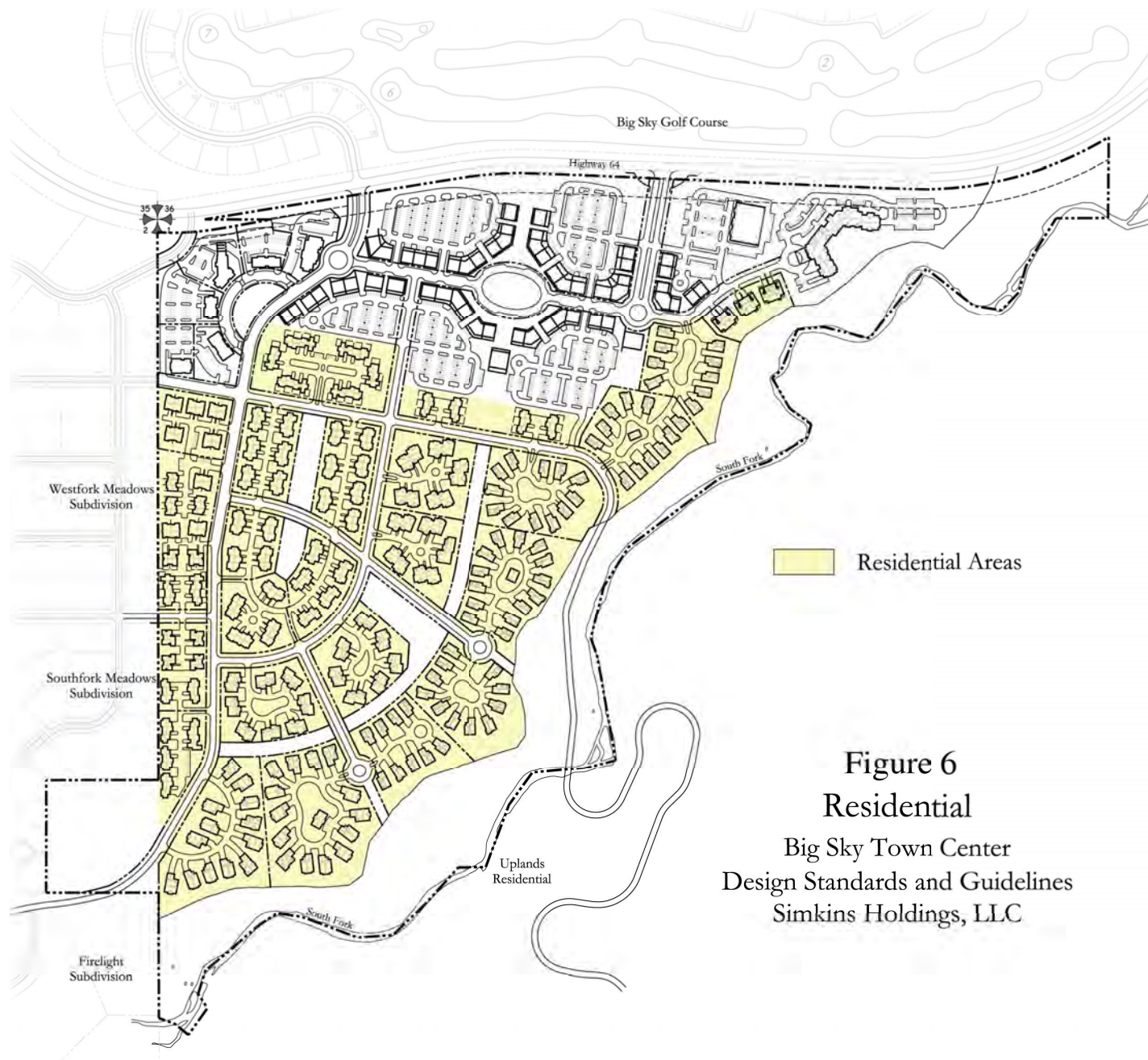
The multi-family residential areas within the Town Center are intended to provide a diverse housing opportunity for the local and second homebuyer market. Architecturally, the design intent should reflect a “village” concept that reflects the natural materials and western mountain vernacular set forth within the residential design guidelines of this document. These multi-family residential areas are located within walking distance of commercial amenities and plentiful open space.

Figure 6, on the following page, illustrates the multi-family residential areas within the Town Center.

The guidelines and standards set forth in this subsection will govern the review and approval by the TCAC. Any drawings accompanying guidelines are illustrative only, and are intended to provide direction and interpretation of the related guideline.

In addition to the standards and guidelines described here, the following documents apply to all developments in the multi-family residential areas:

1. Gallatin Canyon/Big Sky Zoning Regulation
2. Big Sky Town Center Declaration of Covenants, Conditions and Restrictions”
3. Big Sky Town Center Master Signage Plan



**Figure 6**  
**Residential**  
Big Sky Town Center  
Design Standards and Guidelines  
Simkins Holdings, LLC

## A. SITE DESIGN - MULTI- FAMILY RESIDENTIAL

### BUILDING SETBACKS/BUILDING ENVELOPE

#### ***STANDARDS: BUILDING SETBACKS/BUILDING ENVELOPE***

- The Gallatin County setback requirements shall apply to all multi-family residential developments.
- Outdoor storage of equipment or RV's is prohibited within the front yard setback of any residential lot.
- The principal structures on the site shall be the dominant elements on site. All accessory structures shall be subordinate in size to the principal structures.
- Building massing and scale should be responsive to the site, including views, terrain, visibility of site and existing vegetation.
- All lots located on the rim adjacent to the wildland open space/bluff above the South Fork of the West Fork River shall submit a site-specific geotechnical report to the TCAC during Phase B of the DLUP application process.

#### ***GUIDELINES: BUILDING SETBACKS/BUILDING ENVELOPE***

- Reference the Gallatin Canyon/Big Sky Zoning Regulation for building setback requirements.
- Satellite dishes and dog kennels shall be screened from view.
- Buildings should be sited and landscaped so as to minimize the impact on neighboring lots, especially visual impacts.
- Ground floor units should be provided with private open space, screened from public or common areas, and as nearly square as practical. Orientation should be south or southwest whenever practical.
- The "General Geotechnical Report for the South Fork Rim Development" may be acquired from the TCAC.

#### ***IMAGES: BUILDING SETBACKS/BUILDING ENVELOPE***



### COMMUNITY AREAS

#### ***STANDARDS: COMMUNITY AREAS***

- Adequate common space should be provided for children's activities, and should be well separated from vehicular space.
- Distinctions between public spaces (streets), community spaces (courtyards, play areas) shall be clearly delineated.

#### ***GUIDELINES: COMMUNITY AREAS***

- Through traffic is strongly discouraged.
- Encourage pedestrian activity by minimizing automobile conflicts and providing clear pathways between and around the buildings, uninterrupted by parking areas and roads.
- Walkways should link the development to nearby parks, trails and shopping areas.
- Neighborhoods defined by parking courts, cul-de-sacs, or other common spaces are encouraged.

*Continued on the next page . . .*

- Internal streets and identifiable community areas should be named for easy navigation within the development.

### **SIGNAGE**

#### ***STANDARDS: SIGNAGE***

- Signage for a residential subdivision in the multi-family areas shall adhere to the requirements of the Master Signage Plan.
- All residential buildings shall have the street number (address) of at least 4" in height attached to the building and clearly visible from the street or driveway, whichever is approved by the TCOA and the Fire Department.
- Interior streets shall have the necessary traffic controls, such as stop and yield signs. Street and stop signs shall be constructed to the standards as developed by the TCAC.

#### ***GUIDELINES: SIGNAGE***

- Reference the Master Signage Plan, as provided in the Development Reference Manual.
- Signs should be consistent throughout the development. Variations may be used to indicate separate neighborhoods within the development.
- Interior dwelling units may have directional signs to indicate the location of units within the development.

### **DRIVEWAYS & PARKING**

#### ***STANDARDS: DRIVEWAYS & PARKING***

- Developments shall provide on-site parking spaces at the rate of at least 3 parking spaces per unit
- All required off-street parking shall be within the lot boundary, and

## **Big Sky Town Center Design Standards & Guidelines**

shall not encroach on public or private right of ways.

- The minimum length of a driveway is 22 feet between the garage face and the building side of the sidewalk.
- Single driveways shall not exceed 12 feet in width. Driveways that serve two adjoining units shall not exceed 24 feet in width.
- Adequate access and turning areas for emergency vehicles shall be provided based on the Fire District's standards.
- A landscape island shall divide adjacent driveways.
- Visitor parking shall be located in readily visible and accessible locations and shall be identified as such.
- Driveways or internal streets shall meet subdivision roads in a geometry that is easily-negotiable and shall also meet County standards.

#### ***GUIDELINES: DRIVEWAYS & PARKING***

- Access drives, driveways, and parking surfaces should be constructed of modular pavers, asphalt or concrete (gravel surfacing is prohibited).
- Locking garages for each unit are encouraged.
- Parking areas should be screened from view from roads and neighboring lots.
- Visitor parking should be dispersed throughout the development. It should not be sited directly in front of entrances to units.
- Encourage installation of (metered) electric charging stations for electric vehicles. Often these outlets may be installed in/near parking lot landscaping.

### **GRADING & DRAINAGE**

#### ***STANDARDS: GRADING & DRAINAGE***

- All lots within the Town Center shall discharge excessive stormwater into the streets.

*Continued on the next page . . .*

- Surface drainage shall not be directed onto adjacent properties.
- See Section IV, Surface Drainage, for Standard Sidewalk Chase Detail.

## ***GUIDELINES: GRADING & DRAINAGE***

- The drains and ditches have been designed to transport stormwater to the detention ponds at the northeast portion of Town Center.

## **UTILITIES**

### ***STANDARDS: UTILITIES***

- All utilities shall be located underground or behind screened areas.
- All propane tanks shall be located underground and shall be accessible for refueling and maintenance.
- All electrical conduits for right-of-way landscaping, lighting and signage shall be provided and installed by the project developer.
  - Electrical conduit shall be UL rated.

## **FENCES**

### ***STANDARDS: FENCES***

- Fencing within the multi-family areas may be used to screen ground mounted mechanical equipment.
- Fencing shall be designed and constructed as required in Section IV.

### ***GUIDELINES: FENCES***

- Fencing should be of durable materials.

## **TRASH CONTAINERS AND ENCLOSURES**

### ***STANDARDS: TRASH CONTAINERS & ENCLOSURES***

- All multi-family residences shall provide individual or common trash containers that meet local collection standards.
- All trash containers shall be animal-proof (See TCAC for guidelines).
- Portable or individual trash containers shall be stored in a shed or garage

### ***GUIDELINES: TRASH CONTAINERS & ENCLOSURES***

- Common trash containers should be screened from adjacent land uses by a durable opaque enclosure, or landscape plantings.

## **SWIMMING POOLS & HOT TUBS**

### ***STANDARDS: SWIMMING POOLS & HOT TUBS***

- Swimming pools in multi-family areas are only permitted as a community facility within that lot (or adjacent open space) and shall be open to the residents of that development.
- All swimming pools and hot tubs shall be constructed according to industry or manufacturer standards as well as the International Building Code, and other applicable codes.
- A 4-foot high (or other applicable code-required height) fence with a securable gate or door for access shall enclose all swimming pools constructed on multi-family lots, or adjacent open space.
- Above-ground swimming pools are prohibited
  - \*Above-ground pools are defined for the purpose of these standards and guidelines as a pool which has its lowest point at the same level as the finished grade on which it is placed.

***GUIDELINES: SWIMMING POOLS & HOT TUBS***

- Hot tubs may be in-ground or above-ground. If hot tubs are above ground, all necessary mechanical equipment and support structures shall be screened from view.
- Individual multi-family units may have one hot tub per unit, located at the rear of the building.
  - \*Above-ground pools are defined for the purpose of these standards and guidelines as a pool which has its lowest point at the same level as the finished grade on which it is placed.

**RECREATIONAL EQUIPMENT*****STANDARDS: RECREATIONAL EQUIPMENT***

- Recreational equipment shall be setback from the rear property line at least ten (10) feet.
- Any lots with play or recreational equipment in the rear yard shall screen this use from adjacent properties by means of a fence (Section IV.A.2) or appropriate landscape plantings.

***GUIDELINES: RECREATIONAL EQUIPMENT***

- Individual homeowners within the multi-family development may install or construct freestanding or anchored play equipment in the rear yards on their property.

**FIREWOOD*****STANDARDS: FIREWOOD***

- Residences in multi-family areas may either store firewood in a common area or near individual units.

- Firewood storage areas shall be constructed or situated taking into consideration local governing fire code or restrictions.
- Brightly-colored tarps shall not be used to cover firewood.
- All firewood storage areas shall be concealed from adjacent properties or land uses by means of a fence, enclosure, or landscape plantings.

***GUIDELINES: FIREWOOD***

- The Big Sky Fire Department may be contacted regarding local fire codes or restrictions at (406) 995-2100.

**DOG KENNELS*****STANDARDS: DOG KENNELS***

- Dog kennels are permitted within the rear or side yards only.
- Dog kennels shall not be located in the front yard of any residential lot.
- Screening is required for all kennels.
- All dog kennels and dog runs shall be reviewed and approved by the TCAC.

***GUIDELINES: DOG KENNELS***

- Dog kennels should be constructed of durable materials.
- Kennels should be placed in an inconspicuous area away from the direct view of adjacent lots and primary roads.

**OUTDOOR STORAGE*****STANDARDS: OUTDOOR STORAGE***

- Outdoor storage is prohibited, except for stacked firewood. Items such as bikes, barbecues and outdoor furniture stored or used on

decks and in side or rear yards are not considered “outdoor storage.”

- Outdoor storage of recreational vehicles (RV’s), trailers and boats are prohibited. They must be stored in garages or other buildings.

## ***GUIDELINES: OUTDOOR STORAGE***

- Provide adequate storage space in residences or garages.
- Avoid separate storage structures or sheds.

## **B. LANDSCAPE DESIGN**

### **MULTI- FAMILY RESIDENTIAL**

#### **LOT LANDSCAPING**

## ***GUIDELINES: LOT LANDSCAPING***

- Landscaping of common areas shall be substantial enough to create a sense of place and a sense of separation from the nearby streets.
- All edging shall be green steel.
- All multi-family lots shall be planted with at least 2 large (30’+ mature ht.), deciduous canopy trees per unit (i.e. not Aspen)
- All multi-family lots shall be planted with at least 1 large, coniferous tree per unit.
- All multi-family lots shall be planted with at least 2 small (12’–25’ mature ht.), ornamental trees per unit.
- All multi-family lots shall install and maintain landscaping (either native or ornamental) on at least 25% of the lot.
- Foundation plantings shall be used to conceal foundations, mechanical equipment, play equipment, firewood storage or other undesirable views onto the property.
- (Definitions of plant material sizes are located in Section IV, on “Plant Sizes.”)

## ***GUIDELINES: LOT LANDSCAPING***

- Landscaping should help define public areas, common areas and private areas.
- Landscaping may separate common open space from the surrounding public areas in order to minimize public use of the space.
- Respect views from neighboring lots.
- Be aware that fruit-bearing trees may attract bear and moose in the fall and that these animals may damage these trees.
- Street tree spacing may be adjusted by the TCAC at the time of permitting or installation to respond to driveway locations.
- Fences and privacy berms are strongly discouraged. Vegetative hedges are preferred.
- If used, berms should be planted and contoured to look as natural as possible.
- Landscaping should be used to define private spaces, such as patios, and public or semi-public spaces such as playgrounds.

#### **LAWN AREAS**

## ***STANDARDS: LAWN AREAS***

- Lawn areas shall be mowed to maintain attractive leaf blade lengths throughout the growing season.

## ***GUIDELINES: LAWN AREAS***

- Lawns should be watered adequately to prevent sun scorching or dying off of large expanses of grass.
- Irrigation of lawns should be adjusted to maintain a healthy lawn and conserve water during these times.

*Continued on the next page . . .*

## **IRRIGATION**

### ***STANDARDS: IRRIGATION***

- All residential lots and adjacent right-of-ways shall be irrigated with an automatic irrigation system.
- The project developer is responsible for the installation and maintenance of this system.
- landscape designs shall take into consideration the conservation of water during irrigation by designing irrigation systems to use water as efficiently as possible.
- Irrigation shall not endanger the stability of a slope. All lots located adjacent to the South Fork River shall submit a site-specific geotechnical report to the TCAC at the time of application for a phase B DLUP. This report shall address planting and irrigation requirements of the project.

### ***GUIDELINES: IRRIGATION***

- The Big Sky Water and Sewer District may issue intermittent watering restrictions throughout the growing season.

## **MAINTENANCE OF LANDSCAPING**

### ***STANDARDS: MAINTENANCE OF LANDSCAPING***

- All landscaped areas shall be maintained by the project developer or multi-family HOA in a good condition throughout the year.

### ***GUIDELINES: MAINTENANCE OF LANDSCAPING***

- If fencing or netting is required in the fall to protect against animal damage, it should be installed on October 1st and removed on or before May 1st of every year.

## **C. BUILDING DESIGN - MULTI-FAMILY RESIDENTIAL**

### **ENERGY EFFICIENCY**

#### ***STANDARDS: ENERGY EFFICIENCY***

- All plumbing fixtures in all buildings shall meet or exceed the EPA's Water Sense requirements, as they may be amended from time to time.
- Buildings shall be designed to be energy efficient and should incorporate the most current building products available to achieve this.

#### ***GUIDELINES: ENERGY EFFICIENCY***

- Buildings should incorporate active and/or passive solar elements.
- Alternative energy sources such as geothermal and solar are encouraged and will be supported by the TCOA.
- Exterior wall insulation should be rated at R-19 minimum.

### **BUILDING AREA**

#### ***STANDARDS: BUILDING AREA***

- The minimum building area for the primary dwelling unit (excluding attached garage) is 900 square feet.

### **BUILDING HEIGHT**

#### ***STANDARDS: BUILDING HEIGHT***

- For that portion of a dwelling with parapet walls or mansard roofs and a flat roof system\*, the building height shall be calculated as shown in Section 23 of the Gallatin Canyon/Big Sky Zoning Regulation.

*Continued on the next page . . .*

- For buildings with gable or hip roofs, the illustration and text in Section IV shall be used to calculate the maximum building height.
- Roof-mounted mechanical and/or electrical equipment shall be shielded from view, and all extensions above the maximum building height shall be approved by the TCOA.
- The maximum height for all accessory structures is 21 feet.
  - \* Flat Roof System: Shall be defined as a roof having a slope of 0:12 to 1:12.

## ***GUIDELINES: BUILDING HEIGHT***

- See Table 21.C.1 of the Gallatin Canyon/Big Sky Zoning Regulations for maximum building heights.
- All extensions above the maximum building height should be subordinate in design to the architectural features of the building, (unless otherwise approved by the TCOA).

## **GARAGES**

### ***STANDARDS: GARAGES***

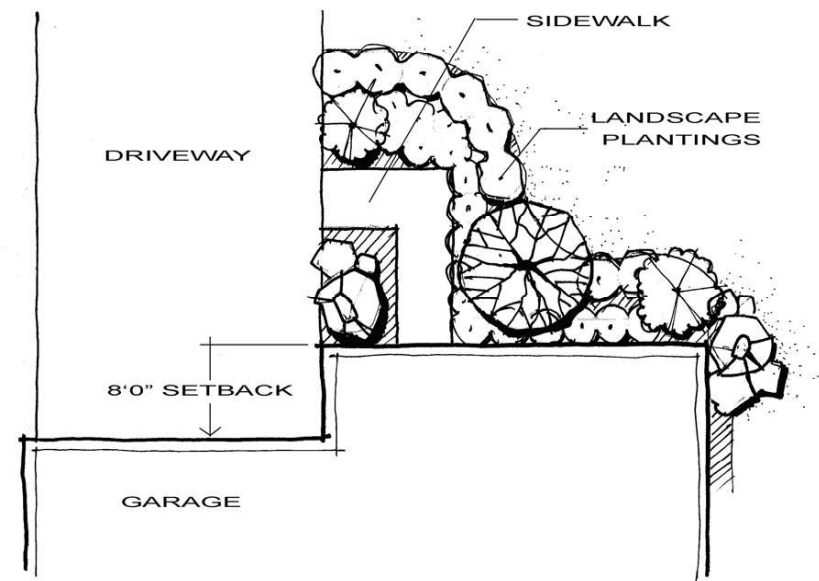
- Attached garages shall not obscure the entrance to the dwelling and shall be setback at least eight (8) feet behind the front façade of the residence, (unless otherwise approved by the TCOA).
- Garages shall be subordinate in design and size, including area of door, to the main structure, whether attached or detached.

### ***GUIDELINES: GARAGES***

- Garages may be attached or detached and should have a similar character as the residence.
- Minimize the visual impacts of garage doors visible from streets or neighboring lots by using windows, panels or color. Whenever practical, the doors should not face the primary street.

- The use of (slightly) darker paint tone color or construction material color is encouraged for garage doors.
- The use of wood or painted metal for garage doors is encouraged.
- Where practical, locate garage doors to prevent drifting snow and allow the sun to assist with snow removal.
- Double garage doors should be separated at the mid-point by a vertical architectural treatment. Two separate garage entries to the same garage may be preferred.

### ***IMAGES: GARAGES***



## **ROOF & CANOPY DESIGN**

### ***STANDARDS: ROOF & CANOPY DESIGN***

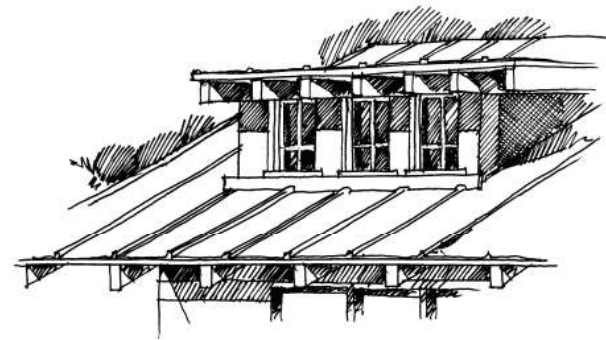
- Roof and canopy designs shall prevent snow or ice from shedding directly onto a pedestrian walkway or access.
- Roof and canopy structures shall be designed based on 140 PSF ground snow load plus drift loading.
- Roof slopes shall be a minimum pitch of 6:12 and a maximum pitch of 12:12. Secondary roof pitches of 4:12 may be used for minor shed dormers.
- Roof slope shall not exceed 30 feet in length without a change in form or direction of two (2) feet minimum, vertically or horizontally.
- Skylights shall be of high quality, insulated construction and shall include adequate flashing details to ensure proper performance.
- Roofs shall be constructed with materials appropriate for Town Center and the environmental constraints of the area.
- Dormers shall be properly integrated with the roof design and subordinate to the roof itself.

### ***GUIDELINES: ROOF & CANOPY DESIGN***

- Snow sloughing should be controlled and measures shall be taken to prevent snow and ice from damaging property or injuring people.
- Roofs should compliment and respond to the heavy snow environment.
- Roofs may be dressed with durable architectural-style asphalt shingles, or like material.
- Roof mounted items such as satellite dishes and skylights should be integrated into the overall roof design.
- Roofs should be pitched, such as gable, hip and shed roofs and be overhung at least 12" over the entire length of the outside wall.

- Minimum roof insulation is R-30 with a rating of R-50 recommended to help prevent ice dams.
- Dormers are appropriate in residential areas and effectively break up roof expanses.

### ***IMAGES: ROOF & CANOPY DESIGN***



## DECKS, BALCONIES & TERRACES

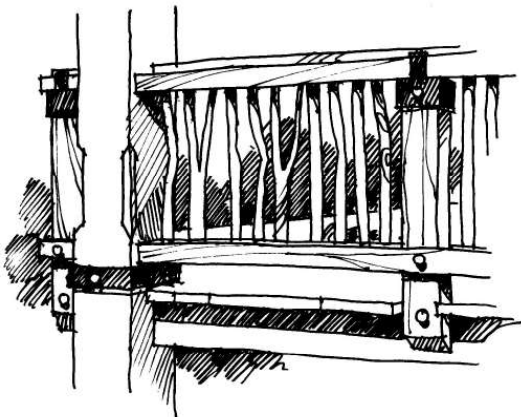
### ***STANDARDS: DECKS, BALCONIES & TERRACES***

- Decks and balconies shall be designed to handle snow and drift loads as well as possible snow shedding from roof overhangs above.
- All units shall have a patio, porch or balcony. They should provide as much privacy as possible and should be located next to the primary living space in the unit. Minimum size is 6' x 10'.
- Decks, porches, and balconies shall be contained within the setbacks (unless otherwise approved by the TCOA).

### ***GUIDELINES: DECKS, BALCONIES & TERRACES***

- Decks, balconies and terraces are encouraged and shall be integrated into the overall building design.
- Terraces can provide a natural transition between the building and the site.
- On all patios, positive drainage away from the building shall be maintained.

### ***IMAGES: DECKS, BALCONIES & TERRACES***



## EXTERIOR WALLS

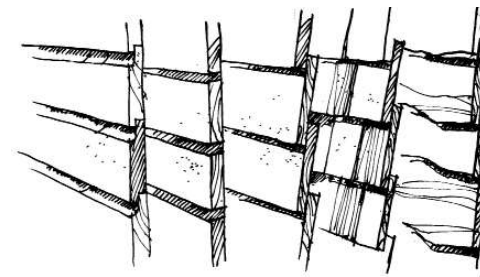
### ***STANDARDS: EXTERIOR WALLS***

- Exterior wall surfaces shall not exceed 30 feet without a change in wall form or direction. Change in wall surface direction shall be two (2) feet minimum.
- Natural and/or wood materials are encouraged for siding and exterior walls.
- Use of cement-composite siding material may be permitted in certain areas.

### ***GUIDELINES: EXTERIOR WALLS***

- Varied façade forms and upper level balconies are encouraged.
- Variations of building materials and colors should be used to accentuate design forms and features.
- Walls should be articulated to avoid domination by large, undifferentiated planes.
- Standard-color cement-fiber composite siding should be used with restraint. The TCAC may require custom colors, depending on the situation and siding application.
- Custom-colored or painted cement-fiber composite siding is preferred over the standard colors.

### ***IMAGES: EXTERIOR WALLS***



*Continued on the next page . . .*



Kootenai Ledge Stone, or similar stone type and color

## EXTERIOR WINDOWS AND DOORS

### ***STANDARDS: EXTERIOR WINDOWS & DOORS***

- Entrances shall be readily visible from the guest parking area. Shared entrances shall be obvious.
- See Section IV.C for additional exterior window and door standards.

### ***GUIDELINES: EXTERIOR WINDOWS & DOORS***

- Standard size doors and windows are strongly encouraged to allow easy replacement in the future.
- Wherever practical, locate entrances to avoid drifting snow and allow the sun to assist with snow removal.
- Entrances should provide appropriate cover from rain and snow. Porches are encouraged.
- Entrances on multi-family units should provide occupants with some sense of privacy and opportunity for personalization.
- The benefits of an aluminum-clad wood window and door that meet or exceed the specifications in Section IV.C are:
  - Superior thermal and energy efficiency
  - Superior warranty on paint and glass (20/10 yr)
  - Beauty and warmth of wood, architectural detailing
  - Superior design flexibility with 50 color choices, various wood species, and hundreds of divided light options and styles
  - Factory-glazed system with a dual seal
  - Windows are installed prior to exterior façade, resulting in tight perimeter joints

## ARCHITECTURAL FEATURES

### ***STANDARDS: ARCHITECTURAL FEATURES***

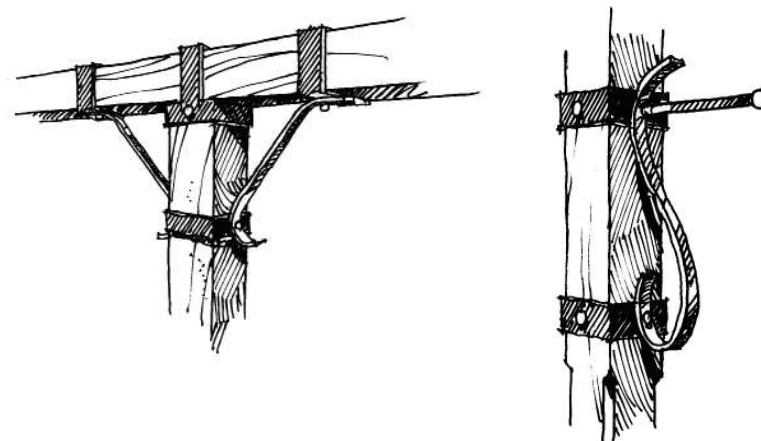
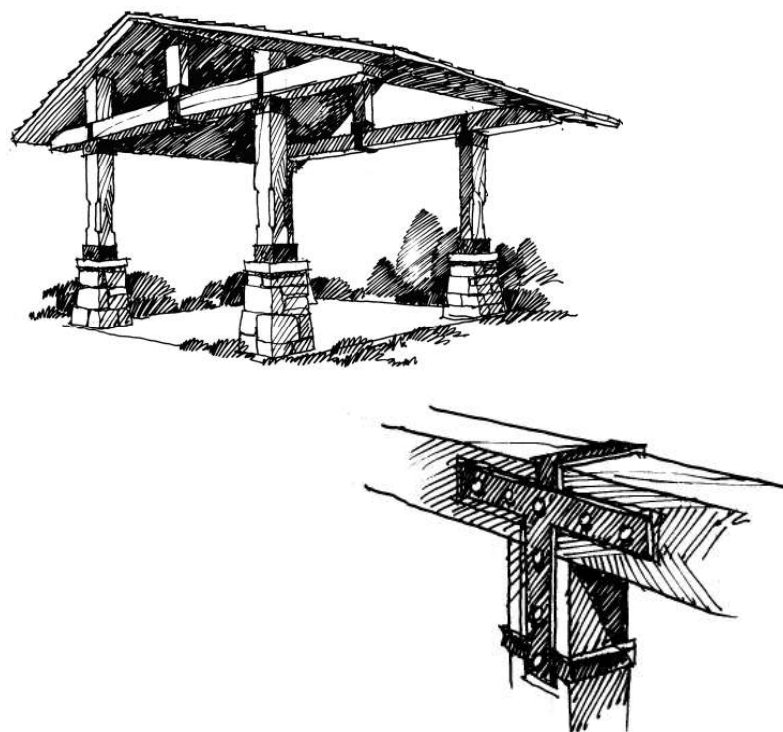
- Exposed structural expression of wood framing members, timbers and steel detailed elements supporting the roofs, sheds and balconies shall be a feature of all building designs.
- Accessory structures shall emulate the architectural character of the primary residence.

- Application of stone masonry as an accent building material, particularly on the ground floor level building walls, is required. Refer to section “Exterior Materials” for specific types, styles and applications.

## ***GUIDELINES: ARCHITECTURAL FEATURES***

- Use of stone with the application of “battered” large-stone setting at the wall base is strongly encouraged, and may be required by the TCOA in certain applications.

## ***IMAGES: ARCHITECTURAL FEATURES***



## **COLORS**

### ***STANDARDS: COLORS***

- Materials and colors for structures shall be harmonious with the surrounding site.
- Exterior building colors shall emphasize earth tones fitting with the natural, surrounding environment.
- TCAC shall review for approval all proposed exterior-building materials, finishes and color schemes as part of the DLUP Phase B application process.
- Semi-transparent stains and finishes on wood products are preferred over solid colors.

### ***GUIDELINES: COLORS***

- Trim and other accentuating details of the building may be finished in brighter or contrasting color schemes to add compatible interest.
- Color use may vary between units, between floors, between building elements or in combination.

*Continued on the next page . . .*

- Color palettes should remain consistent within a development, but use should be varied in order to differentiate neighborhoods and buildings.

### **EXTERIOR MATERIALS**

#### ***STANDARDS: EXTERIOR MATERIALS***

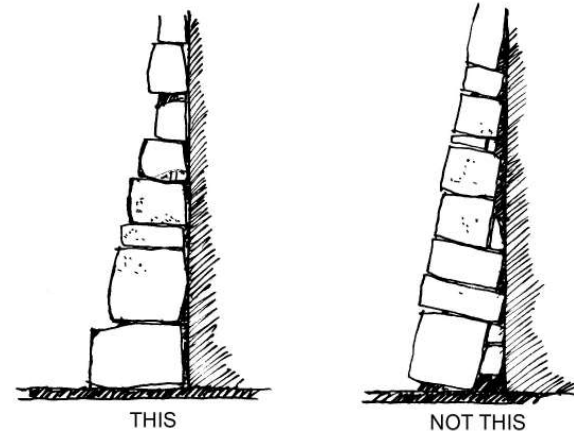
- Refer to Table 3, in Section IV “Residential Exterior Building Materials for the Big Sky Town Center,” for information regarding appropriate building materials.
- Application of stone masonry as an accent building material is strongly encouraged. Use of real stone with the application of “battered” large-stone setting at the wall base is strongly encouraged.
- Natural and/or wood materials are encouraged for siding and exterior walls. Heavy cut timbers, dry-stack real stone, cedar lap and other wood siding are all materials that are approved for use in the Town Center.

#### ***GUIDELINES: EXTERIOR MATERIALS***

- Exterior building materials should accentuate interesting building forms and elements.
- The layers and patterns of materials, details and structural members should reinforce the Town Center’s “Western Mountain Architecture” theme.
- Materials should be able to withstand the caustic mountain weather cycles and maintain an enduring life cycle of beauty, service, and performance.
- Premier quality materials should be used to provide a strong sense of lasting value.
- Use materials that reflect a relationship between the built and natural environment of this unique location.

- The use of indigenous materials is strongly encouraged.

#### ***IMAGES: EXTERIOR MATERIALS***



## IX. CONSTRUCTION PROCEDURES

The TCAC has made every effort to ensure that development within the Town Center is conducted in a manner that will compliment adjacent project developers within the Town Center. However, it is recommended that all adjacent project developers wishing to propose development in the Town Center establish good communication with each other during the design and construction of improvements.

Adjacent project developers may coordinate site plans, access to lots, parking lots, pedestrian plazas and walkways, landscaping and perimeter treatments of their lots. They might consider opportunities to minimize the cost of site amenities by planning them together.

All project developers and contractors shall ensure that all construction is performed in accordance with the following requirements:

1. Construction activity is only permitted between 7 a.m. and 7 p.m. Monday through Saturday.
2. Roadways shall be maintained and/or repaired as needed in order to prevent the excessive wear and tear caused by construction vehicles. All contractors shall park on dedicated public streets or within the confines of the property on which the construction is taking place.
3. Adjacent property is protected from damage during the construction process and that if damage occurs; restoration to original conditions is completed within 30 days of the occurrence.
4. Temporary structures, such as construction trailers, dumpsters and toilets shall be removed within 30 days of completion of construction and shall not be located where they might negatively

impact adjacent properties. Temporary living structures, such as recreational vehicles, mobile homes and pull-behind trailers are prohibited in the Town Center.

5. Construction staging and storage of materials shall be located only on the lot on which construction is taking place and should be paved with two inches of  $\frac{3}{4}$ " screened gravel. Public roadways and adjacent properties are not permitted as construction storage and staging areas.
6. Construction vehicles shall only have access to the property from existing roads adjacent to the construction site.
7. The site plan, landscape plan or grading plan shall illustrate and call out plans for the control of erosion and vegetation/tree protection during the construction process. All re-vegetation shall be done in accordance with these plans, as approved by the TCAC. All surplus building and landscaping materials shall be promptly removed from the construction site following completion of the project.
8. All construction sites shall have temporary water hookup. All sites shall also have an on-site enclosed portable toilet that should be kept clean at all times and be located to lessen impacts to adjacent properties. The portable toilets shall be removed promptly after construction is completed.
9. No construction site shall burn waste or use incinerator cans or devices unless otherwise approved first by the TCAC and then by the Big Sky Fire District.

10. All trash and construction debris shall be kept covered in appropriate refuse containers and emptied on a regular basis. Paving, landscaping and other contractors shall not dispose of leftover materials on adjacent private properties or on public roads.
11. Project developers and their contractors are responsible for preventing the spread of noxious weeds. They are responsible for the decontamination of trucks, machinery, materials and tools brought in from outside areas.
12. The TCOA, or their designated representative, has the right to enter upon the construction site to inspect construction at any time, including during routinely scheduled inspections for occupancy and during investigation for violations.

## X. REFERENCE DOCUMENTS

### **A. “Big Sky Town Center Master Signage Plan”**

This document has been provided in your binder. It explains the Master Signage Plan for the Town Center and the review and permitting procedures for all proposed temporary and permanent signs. Extra copies of this document are available from the TCAC by contacting their office at (406) 586-9629, or by using their website at [www.bigskytowncenter.com](http://www.bigskytowncenter.com)

### **B. “Fee Schedule for Review and Permitting”**

This document has been provided in the Development Reference manual. It provides the current fee schedule for review and permitting of proposed development within the Town Center. It also outlines the Performance Bond and Deposit requirements for developments in the Town Center. The current fee schedule is available from the TCAC by contacting their office at (406) 586-9629, or by checking their website: [www.bigskytowncenter.com](http://www.bigskytowncenter.com)

### **C. “Gallatin Canyon/Big Sky Zoning Regulation”**

This document is available at the Gallatin County Planning Department offices at 311 West Main, Bozeman, Montana or on-line at [www.gallatin.mt.gov](http://www.gallatin.mt.gov). They may be reached at (406) 582-3130.

### **D. “Big Sky Town Center Declaration of Covenants, Conditions and Restrictions” (CC&R’s)**

This document is provided in the Development Reference

Manual and is also available from the TCAC by contacting their office at (406) 586-9629, or by checking the website; [www.bigskytowncenter.com](http://www.bigskytowncenter.com). and clicking on the TCOA tab.

### **E. “Big Sky Town Center Parking Regulation, Management Plan and Ordinance”**

This document has been developed to describe the Parking District’s concepts, calculations of required parking and administration as they relate to the parking lots and spaces within the Commercial District.

## XI. CONTACTS

### **Master Developer:**

Simkins Holdings, LLC  
326 North Broadway  
Bozeman, Montana 59715  
(406) 586-9629

### **Town Center Owners Association:**

326 North Broadway  
Bozeman, Montana 59715  
(406) 586-9629  
[www.bigskytowncenter.com](http://www.bigskytowncenter.com)

### **Town Center Architectural Committee:**

326 North Broadway  
Bozeman, Montana 59715  
(406) 586-9629

### **Utility and Service Companies:**

Big Sky Water and Sewer, District #363  
P.O. Box 160670  
Big Sky, Montana 59716  
(406) 995-2660

L & L Site Services  
100 Russell Lane  
Belgrade, Montana 59714  
(406) 388-7171

## Big Sky Town Center Design Standards & Guidelines

Allied Waste Services  
8600 Huffine Lane  
Bozeman, Montana 59718  
(406) 586-0606

### **Governmental Agencies:**

Gallatin County Planning Department  
311 West Main, Room 108  
Bozeman, Montana 59715  
(406) 582-3130  
[www.gallatin.mt.gov](http://www.gallatin.mt.gov)

Big Sky Fire Department  
Fire Chief: Bill Farhat  
P.O. Box 160382  
Big Sky, Montana 59716  
(406) 995-2100

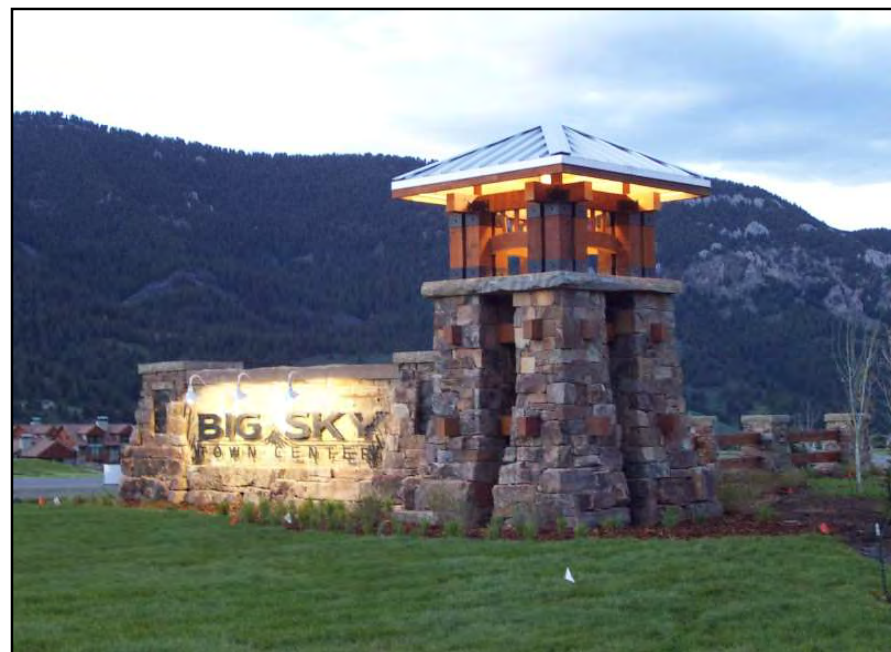
Montana Department of Environmental Quality  
1520 East Sixth Avenue  
P.O. Box 200901  
Helena, Montana 59620  
(406) 444-2544  
[www.deq.state.mt.us](http://www.deq.state.mt.us)

## XII. APPLICATIONS

The following applications are available on in the Development Reference Manual accompanying these guidelines:

1. BSTC Pre-application Review Application
2. BSTC Design and Land Use Permit Application
3. BSTC Conditional Use Permit Application
4. BSTC Variance Application
5. BSTC Temporary Occupancy Application
6. BSTC Occupancy Application (required for any and all commercial and office tenants and tenant changes within the commercial district)
7. BSTC Sign Permit Application
8. Gallatin County Land Use Permit Application\*
9. Gallatin County Conditional Use Permit Application\*
10. Gallatin County Variance Application\*
11. Gallatin County Occupancy Application\*
12. Gallatin Canyon Consolidated Rural Fire Department Land Use Permit Form\*

\* **Note:** These applications have been provided as a guide to preparing the application and submittal materials, however their accuracy cannot be guaranteed. The Gallatin County Planning Department and the Big Sky Fire Department should be contacted in order to obtain the most current version of these applications.



Entry Monument Completed Spring, 2005

### XIII. EXAMPLES OF BUILDING DESIGN



Example of a Town Center Avenue Commercial Core Building

The ‘kit of parts’ for Commercial Core buildings include: Flat roofs, varied parapet height and styles, varied and detailed cornice lines, open balconies, storefront facades, large display windows on the ground floor, varied canopy heights and types, mostly traditional fenestration, timber knee braces and detailing, stone columns and accents, recessed entries, etc.

Other requirements include: The maximum width of primary façade shall be 50 feet. All buildings shall have components that create repetitive patterns and alignments that visually link buildings within a block. Building facades shall contain defining architectural features or elements that identify the type of specialty commercial or specific use. Rectangular forms shall be dominant on Town Center Avenue facades. These forms should be vertically oriented and appear as predominantly flat. Create comfortable pedestrian cadence along the streetscape by creating individualized storefronts or ‘modules’ that are at least 25 feet in width, but no wider than 50 feet in width. Mix the façade widths and heights from storefront to storefront. Overall design of a larger building should create the appearance of separate buildings (storefront design).



Example of a Town Center Avenue Commercial Core Building



Example of a Town Center Avenue Commercial Core Building



Example of a Town Center Avenue Commercial Core Building



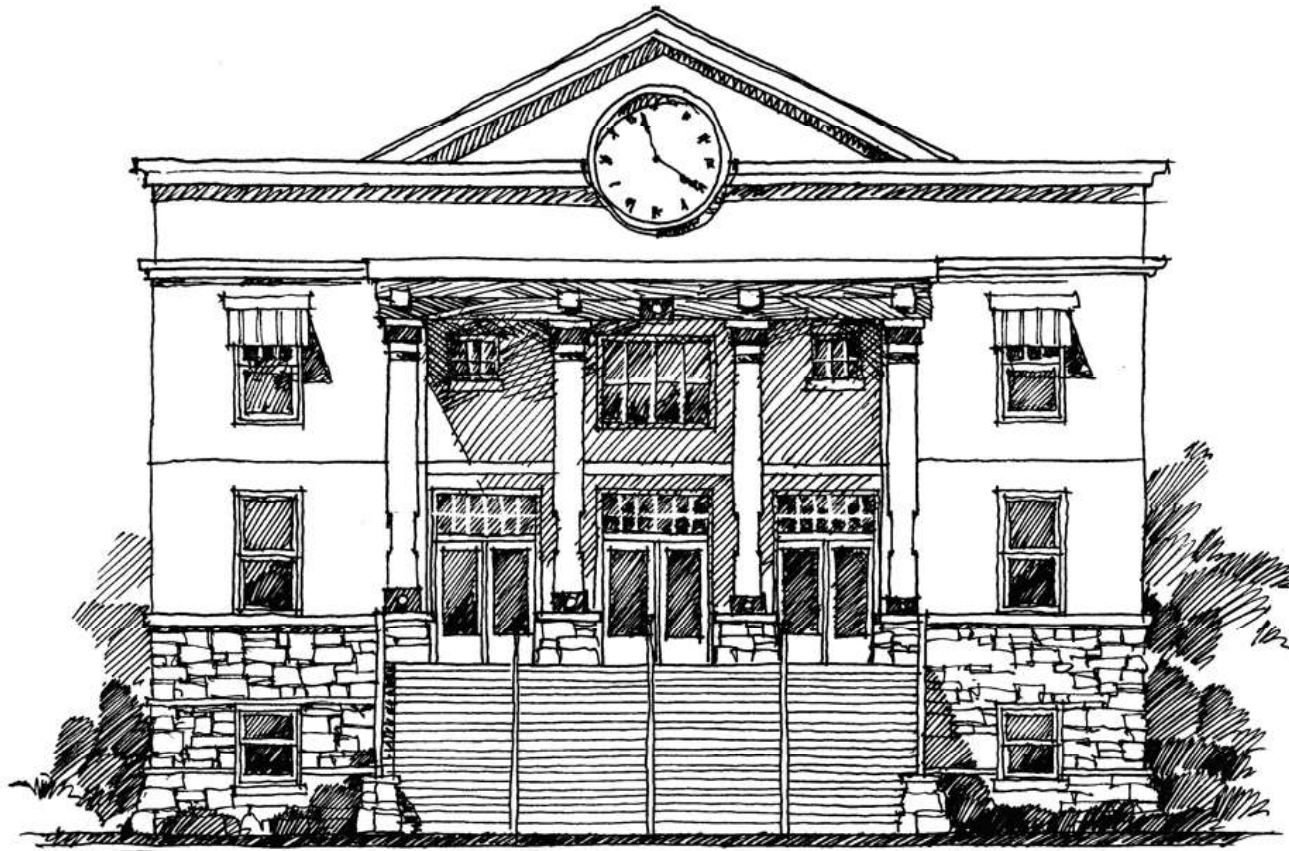
Example of a Town Center Avenue Commercial Core Building



Example of a Town Center Avenue Commercial Core Building



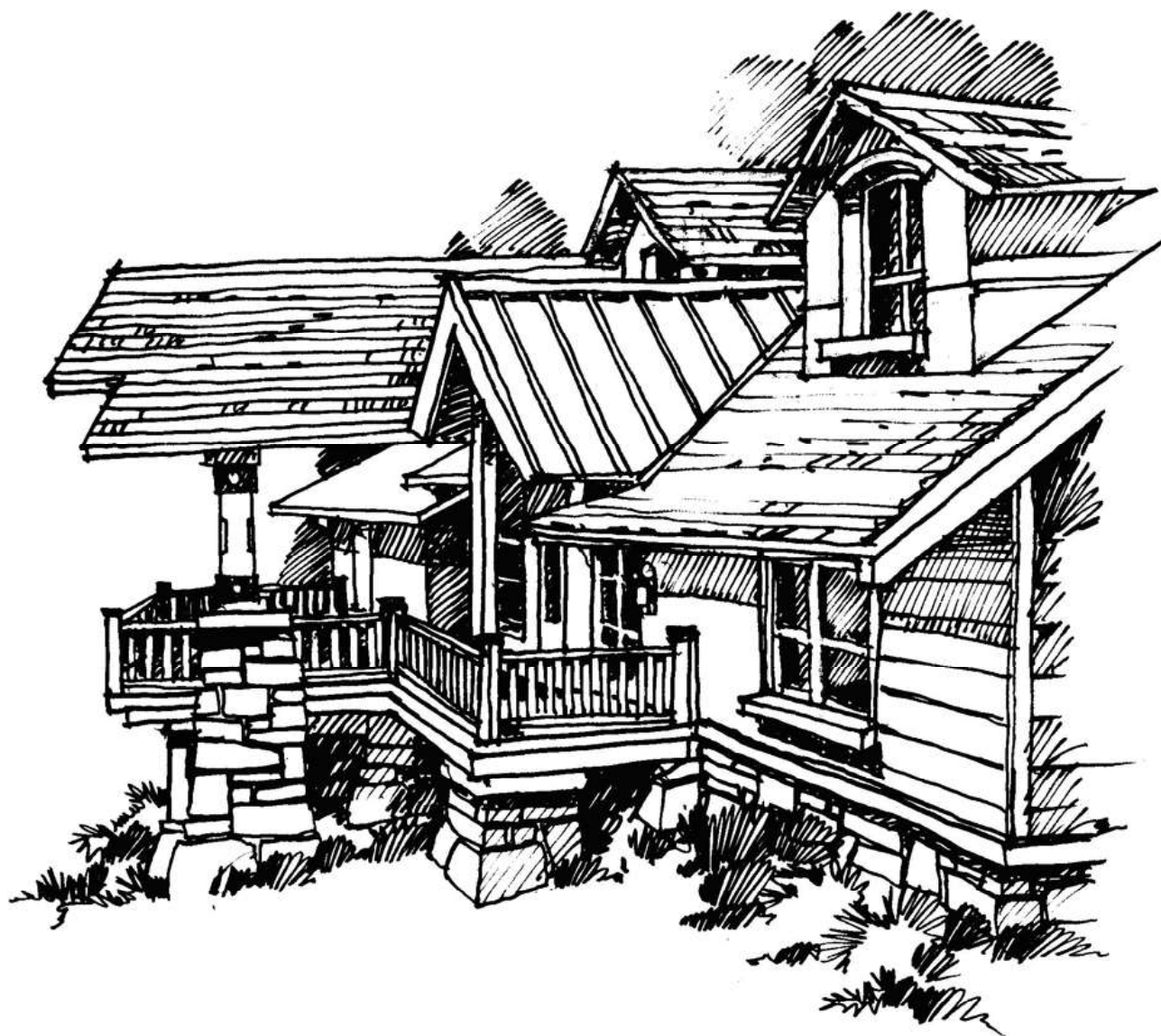
Example of a Neighborhood Commercial Building



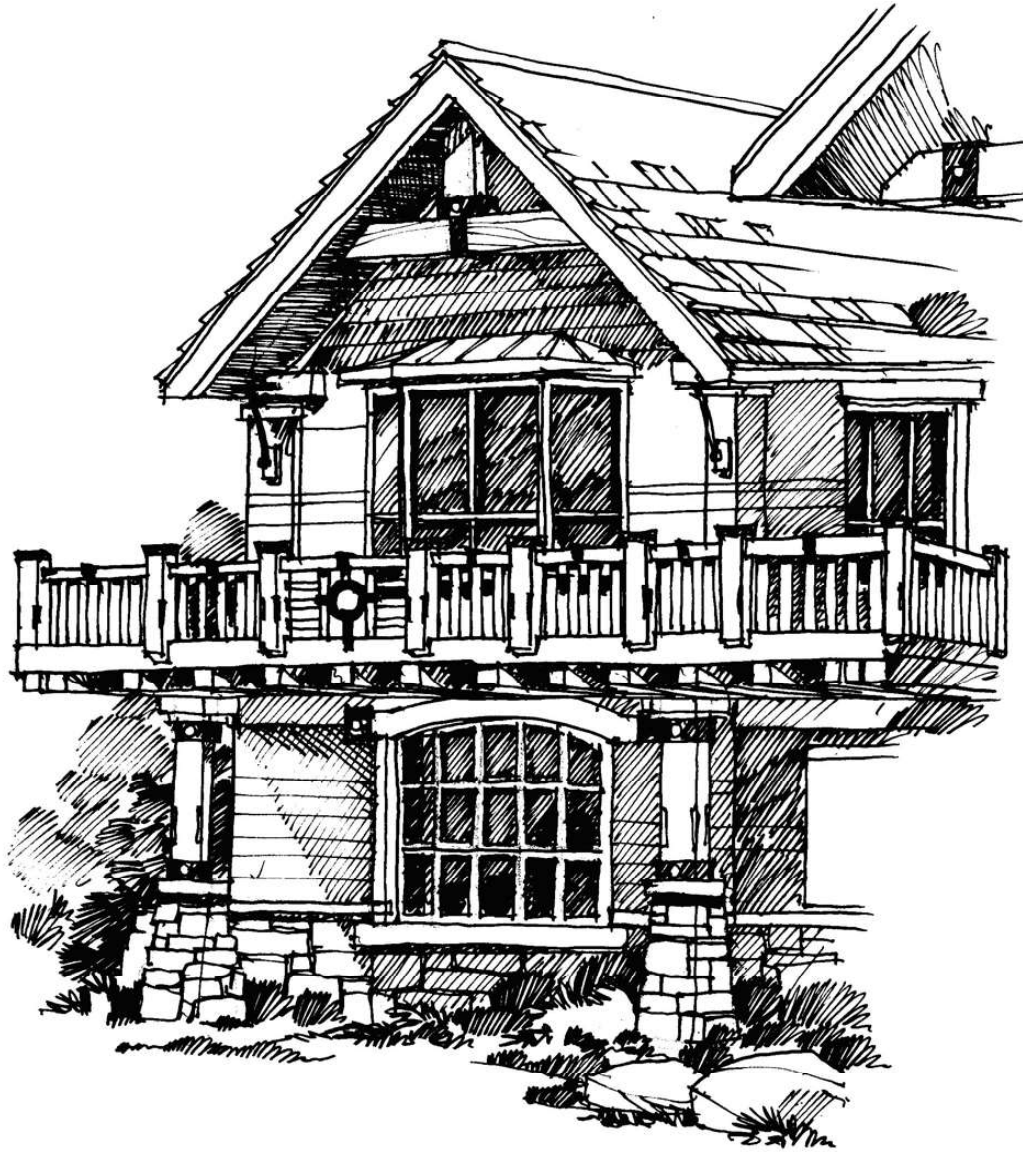
Example of a Public/Quasi Public Building



Example of a Public/Quasi Public Building



Example of a Residence



Example of a Residence



Example of a Multi-Family Residence Project

Karl Neumann Photo



Example of a Multi-Family Residence Project



Town Center Commercial Core Illustration



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**TOWN CENTER**  
**M O N T A N A**

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